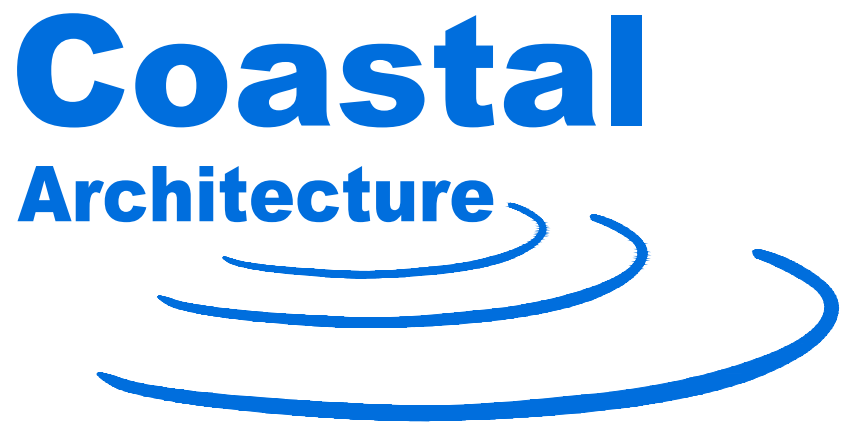


ICE HOUSE RESTAURANT FRONT ST. AND MOORE ST.



Coastal Architecture, PLUMBING SPECIFICATIONS AND RISES DOCUMENTS

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DRAWING LIST

CS-1	COVER SHEET	P-1	PLUMBING SPECIFICATIONS
G-1	GENERAL DATA	P-2.1	WATER LEVEL DWV PLAN
G-2	LIFE SAFETY PLAN	P-2.2	MAIN FLOOR DWV PLAN
G-3	UL RATING	P-2.3	ROOF PLAZA DWV PLAN
		P-2.4	ROOF PLAN
SITE/CIVIL	SHEET 1	P-3.1	WATER LEVEL WATER PLAN
	SHEET 2	P-3.2	MAIN FLOOR WATER PLAN
	SHEET 3	P-3.3	ROOF PLAZA WATER PLAN
A-1	WATER LEVEL PLAN	P-4.1	WATER LEVEL LP GAS PLAN
A-1.1	MAIN FLOOR PLAN	P-4.2	MAIN FLOOR LP GAS PLAN
A-1.2	ROOF PLAZA PLAN	P-4.3	ROOF PLAZA LP GAS PLAN
A-1.3	ROOF PLAN	P-5.1	DWV RISER
A-1.4	KITCHEN EQUIPMENT	P-5.2	WATER RISER
A-1.5	ELEVATOR DETAIL	P-5.3	LP GAS RISER
A-2	WATER LEVEL REFLECTED CEILING PLAN	M-1	HVAC SCHEDULES
A-2.1	MAIN FLOOR REFLECTED CEILING PLAN	M-2.1	WATER LEVEL HVAC PLAN
A-2.2	ROOF PLAZA REFLECTED CEILING PLAN	M-2.2	MAIN FLOOR HVAC PLAN
A-3	DOOR & ROOM FINISH SCHEDULES	M-2.3	ROOF PLAZA HVAC PLAN
A-3.1	FINISH SCHEDULE	M-2.4	ROOF HVAC PLAN
A-4	EXTERIOR ELEVATIONS	M-3	HVAC DETAILS
A-5	BUILDING SECTIONS	E-1	ELECTRICAL SPECS
A-5.1	BUILDING SECTIONS	E-2.1	WATER LEVEL LIGHTING PLAN
A-5.2	WALL SECTIONS	E-2.2	MAIN FLOOR LIGHTING PLAN
A-5.3	ELEVATOR SECTIONS	E-2.3	ROOF PLAZA LIGHTING PLAN
A-5.4	STAIR SECTIONS	E-3.1	WATER LEVEL POWER PLAN
A-5.5	STAIR SECTIONS	E-3.2	MAIN FLOOR POWER PLAN
F-1	WATER LEVEL FLOORING AND WALL FINISH PLAN	E-3.3	ROOF PLAZA POWER PLAN
F-1.1	MAIN FLOOR FLOORING AND WALL FINISH PLAN	E-4	PANEL SCHEDULES
F-1.2	ROOF PLAZA FLOORING AND WALL FINISH PLAN	E-5	ELECTRICAL SERVICE RISER
S-1.1	GENERAL NOTES	FA-1	FIRE ALARM SPECIFICATIONS
S-1.2	SPECIAL INSPECTIONS	FA-2.1	WATER LEVEL FIRE ALARM PLAN
S-2.1	PILE AND GRADE BEAM LAYOUT	FA-2.2	ROOF PLAZA FIRE ALARM PLAN
S-2.2	FOUNDATION PLAN	FA-2.3	MAIN FLOOR FIRE ALARM PLAN
S-2.3	FRAMING PLAN WATER LEVEL DECK		
S-2.4	FRAMING PLAN MAIN LEVEL		
S-2.5	FRAMING PLAN ROOF PLAZA		
S-2.6	FRAMING PLAN ROOF		
S-3.1	FOUNDATION DETAILS		
S-3.2	DECK / MAIN LEVEL DETAILS		
S-3.3	PLAZA LEVEL DETAILS		
S-3.4	ROOF DETAILS		
S-4.1	PORTAL FRAME / BRACING SECTIONS		
S-5.1	SCHEDULES		
S-5.2	SHEARWALL SCHEDULE AND DETAILS		
S-5.3	PILE AND COLUMN SCHEDULE COLUMN BASE DETAILS		
S-5.4	SLAB ON GRADE DETAILS TYPICAL CMU DETAILS		

Coastal
Architecture

• Architectural
Design

• Planning

• Interiors

AIA

Member of the American
Institute of Architects

Lee D. Dixon, Jr., AIA

252-247-2127

lee@coastalarchitecture.net

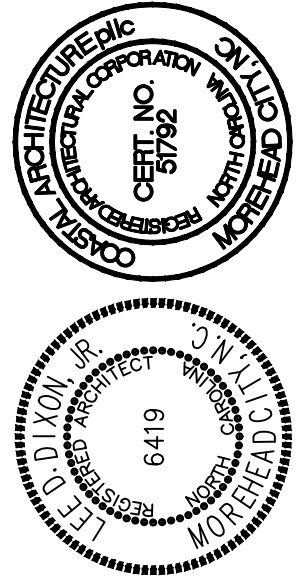
4206 Bridges St. Ext.,
Suite C

Morehead City, NC
28557

www.CoastalArchitecture.net



ICE HOUSE RESTAURANT
FRONT ST. AND MOORE ST.
SWANSBORO, NORTH CAROLINA



COVER SHEET

18044

ISSUED: 11/15/19

DWG BY: BLS/MES

CKD BY: LDD

REVISIONS

Δ

01/10/20

SHEET NO.

CS-1

OF

APPENDIX B

2018 BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS
(EXCEPT ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: ICE HOUSE RESTAURANT
Address: SWANSBORO, NORTH CAROLINA
Owner/Authorized Agent: LEE DIXON
Owned By: City/County Swansboro
Code Enforcement Jurisdiction: City Swansboro

Phone # (252) 247-2127
E-Mail LEE@COASTALARCHITECTURE.NET
Private
County State

Zip Code 28584

CONTACT:

DESIGNER FIRM NAME LICENSE # TELEPHONE # E-MAIL
Coastal Architecture Lee Dixon 6419 (252) 247-2127 lee@coastalarchitecture.net
Architectural Cymal Coam Engineering PA John Freshwater C-2553 (919) 325-0006 johnfw@gmail.com
Civil Burke Design Group Ben Burke 22038 (919) 111-1916 benburke@ncrr.com
Electrical Burke Design Group Ben Burke 22038 (919) 111-1916 benburke@ncrr.com
Fire Alarm Burke Design Group Ben Burke 22038 (919) 111-1916 benburke@ncrr.com
Plumbing Burke Design Group Ben Burke 22038 (919) 111-1916 benburke@ncrr.com
Mechanical Burke Design Group Ben Burke 22038 (919) 111-1916 benburke@ncrr.com
Sprinkler-Standpipe
Structural FDR Derek Rabon 021349 (919) 951-5100 jef@farsidr-eng.com
Retaining Walls > 5 feet High
Other

(*)Other should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: New Building
2018 NC EXISTING BUILDING CODE:
CONSTRUCTED: (date)
RENOVATED: (date)
OCCUPANCY CATEGORY (Table 1604.5): Current
BASIC BUILDING DATA
Construction Type:
Sprinklers:
Standpipes:
Primary Fire District:
Special Inspections Required:
GROSS BUILDING AREA TABLE
Floor Existing (sq ft) New (sq ft) Subtotal
3rd Floor
2nd Floor 3,229 (INC PLAZA) -
Mezzanine
1st Floor 3,914 (INC DECKS) -
Basement 1,323
TOTAL 8,466 -

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design versus the annual energy cost for the proposed design.
Existing building envelope complies with code: (If checked, the remainder of this section is not applicable.)
Exempt Building: Provide code or statutory reference:
Climate Zone: 3A 4A 5A
Method of Compliance:
Energy Code: Performance Prescriptive
ASHRAE 90.1: Performance Prescriptive
Other: Performance (specify source)
THERMAL ENVELOPE: (Prescriptive method only)
Roof/ceiling Assembly (each assembly)
Description of assembly: TPO ON TAPERED INSULATION ON PLYWOOD ON TRUSSES w/ R19 FOAM IN PLACE INSULATION
U-Value of total assembly: 0.02
R-Value of insulation: R45
Skylights in each assembly: N/A
U-Value of skylight: N/A
total square footage of skylights in each assembly: N/A
Exterior Walls (each assembly)
Description of assembly: SIDING ON 3/4" FELD ON PLYWOOD ON 2x6 STUDS w/ R19 INSULATION AND 1/2" GWS
U-Value of total assembly: 0.04
R-Value of insulation: R19
Openings (windows or doors with glazing)
U-Value of assembly: 0.32
Solar heat gain coefficient: 0.25
projection factor: 0
Door R-Values: 0.30
Walls below grade (each assembly)
Description of assembly: N/A
U-Value of total assembly:
R-Value of insulation:
Floors over unconditioned space (each assembly)
Description of assembly: FLOOR TRUSSES, 3/4" PLYWOOD R19 INSULATION, HARDIE BOARD
U-Value of total assembly: 0.04
R-Value of insulation: R19
Floors slab on grade
Description of assembly: N/A
U-Value of total assembly:
R-Value of insulation:
Horizontal/vertical requirement:
slab heated:

ALLOWABLE AREA

Primary Occupancy Classification(s):
Assembly Business Educational Factory Hazardous Institutional I-3 Condition I-2 Condition I-3 Condition Mercantile Residential Storage Utility and Miscellaneous
ALLOWABLE HEIGHT
Building Height in Feet (Table 504.3)
Building Height in Stories (Table 504.4)
1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS

Building Element Fire Separation Distance (feet) Rating Reqd Provided (W Reduction) Detail # and Sheet # Design # for Rated Assembly Sheet # for Rated Penetration Sheet # for Rated Joints
Structural Frame Including columns, girders, trusses > 30 0 0
Bearing Walls
Exterior
North > 30 0 0
East < 30 0 0
West
South > 30 0 0
South < 5 1 1 G-2
Nonbearing walls and partitions
Exterior walls > 30 0 0
North > 30 0 0
East < 30 0 0
West
South > 30 0 0 FIREWALL
Interior walls and partitions
Floor Construction Including supporting beams and joists
Floor Ceiling Assembly
Columns Supporting Floors
Roof Construction, including supporting beams and joists
Roof Ceiling Assembly
Columns Supporting Roof
Shaft Enclosures—Exit
Shaft Enclosures—Other
Corridor Separation
Occupancy/Fire Barrier Separation
Party/Fire Wall Separation
Smoke Barrier Separation
Smoke Partition
Tenant/Dwelling Unit/ Sleeping Unit Separation
Incidental Use Separation
* Indicate section number permitting reduction

Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
This separation is not exempt as a Nonseparated Use (see exceptions).
Special Uses (Chapter 4 – List Code Sections):
Special Provisions: (Chapter 5 – List Code Sections):
Mixed Occupancy: Yes Separation: No separation Hr: Exception:
Non-separated Use (508.3) required per 508.4
Separated Use (508.4)—See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.
Select one
Actual Area of Occupancy A + Actual Area of Occupancy B
Allowable Area of Occupancy A Allowable Area of Occupancy B 15
+ = < 1.00

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.24 AREA	(C) AREA FOR FRONTAGE INCREASES 1	(D) ALLOWABLE AREA PER STORY OR INCREASES 1
WATER LEVEL	STORAGE 6-2	1,323	4,050.0	0	4,050.0
1	DINING A-2	3,914	18,000	0	18,000
2	DINING A-2	3,229	18,000	0	18,000

1. Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
2. Unlimited area applicable under conditions of Section 507.
3. Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
4. The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
5. Frontage increase is based on the unsprinklered area value in Table 506.2.

STRUCTURAL DESIGN

DESIGN LOADS:
Importance Factors: Wind (IW) Snow (IS) Seismic (IE)
Live Loads: Roof Mezzanine Floor
Ground Snow Load:
Wind Load: Basic Wind Speed mph (ASCE-7)
SEISMIC DESIGN CATEGORY: A B C D
Provide the following Seismic Design Parameters:
Occupancy Category (Table 1604.5): II III IV
Spectral Response Acceleration SS % S1 %
Site Classification (ASCE 7): A B C D E F
Data Source: Field Test Presumptive Historical Data
Basic structural system (check one)
Bearing Wall Dual w/ Special Moment Frame
Building Frame Dual w/ Intermediate R/C or Special Steel
Moment Frame Inverted Pendulum
Analysis Procedure: Simplified Equivalent Lateral Force Dynamic
Architectural, Mechanical, Components anchored? Yes No
LATERAL DESIGN CONTROL: Earthquake Wind
SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) psf
Presumptive Bearing Capacity psf
Pile size, type, and capacity

MECHANICAL DESIGN

MECHANICAL SUMMARY
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT
Thermal Zone
winter dry bulb:
summer dry bulb:
Interior design conditions
winter dry bulb:
summer dry bulb:
Building heating load:
Building cooling load:
Mechanical Spacing Conditioning System
Unitary
description of unit
heating efficiency:
cooling efficiency:
size category of unit:
Boiler
Size category, if oversized, state reason:
Chiller
Size category, if oversized, state reason:
List equipment efficiencies:

ELECTRICAL DESIGN

ELECTRICAL SUMMARY
ELECTRICAL SYSTEM AND EQUIPMENT
Method of Compliance:
Energy Code: Prescriptive Performance
ASHRAE 90.1: Prescriptive Performance
Lighting schedule (each fixture type)
lamp type required in fixture
number of lamps
ballast type used
number of ballasts in fixture
total wattage per fixture
total interior wattage specified versus allowed (whole building or space by space)
total exterior wattage specified versus allowed
Additional Prescriptive Compliance
506.2.1 More Efficient Mechanical Equipment
506.2.2 Reduced Lighting Power Density
506.2.3 Energy Recovery Ventilation Systems
506.2.4 Higher Efficiency Service Water Heating
506.2.5 On-Site Supply of Renewable Energy
506.2.6 Automatic Daylighting Control Systems

PROJECT SIGN
NOT TO SCALE

PERCENTAGE OF WALL OPENING CALCULATIONS
FIRE SEPARATION DISTANCE (feet) FROM PROPERTY LINES
DEGREE OF OPENINGS PROTECTION (TABLE 106.3)
ALLOWABLE AREA (%)
ACTUAL SHOWN ON PLANS (%)
SEE G-2
LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: Yes No
Exit Signs: Yes No
Fire Alarm: Yes No
Smoke Detection Systems: Yes No
Carbon Monoxide Detection: Yes No
LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: G-2
Fire and/or smoke rated wall locations (Chapter 7)
Assumed and real property line locations (if not on the site plan)
Exterior wall opening area with respect to distance to assumed property lines (705.8)
Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
Occupant loads for each area
Exit access travel distances (1017)
Common path of travel distances [Tables 1006.2.1 & 1006.3.2(1)]
Dead end lengths (1020.4)
Clear exit widths for each exit door
Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
Actual occupant load for each exit door
A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
Location of doors with panic hardware (1010.1.10)
Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
Location of doors with electromagnetic egress locks (1010.1.9.9)
Location of doors equipped with hold-open devices
Location of emergency escape windows (1030)
The square footage of each fire area (202)
The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)
TOTAL UNITS ACCESSIBLE UNITS REQUIRED ACCESSIBLE UNITS PROVIDED TYPE A UNITS REQUIRED TYPE A UNITS PROVIDED TYPE B UNITS REQUIRED TYPE B UNITS PROVIDED TOTAL ACCESSIBLE UNITS PROVIDED
N/A

ACCESSIBLE PARKING (SECTION 1106)
LOT OR PARKING AREA TOTAL # OF PARKING SPACES # OF ACCESSIBLE SPACES PROVIDED
REQUIRED PROVIDED REGULAR WITH 5' ACCESSIBLE 132" ACCESSIBLE 8' ACCESSIBLE TOTAL # ACCESSIBLE PROVIDED
N/A

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)
USE WATERCLOSETS URINALS LAVATORIES SHOWERS/TUBS DRINKING FOUNTAINS
Male Female Unisex Male Female Unisex Regular Accessible
SPACE EXIST'G NEW REO'D N/A

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

BLUE LOGO
BLACK LETTERS U.O.N.
BLUE BORDER STRIPE
1/2" EXTERIOR GRADE PLYWOOD
WHITE BACKGROUND U.O.N.
P.T. 6x6 POSTS SET IN GROUND 2'-6" WITH 2-2x6 BRACES
SIGN LOCATION TO BE FIELD VERIFIED W/ ARCHITECT

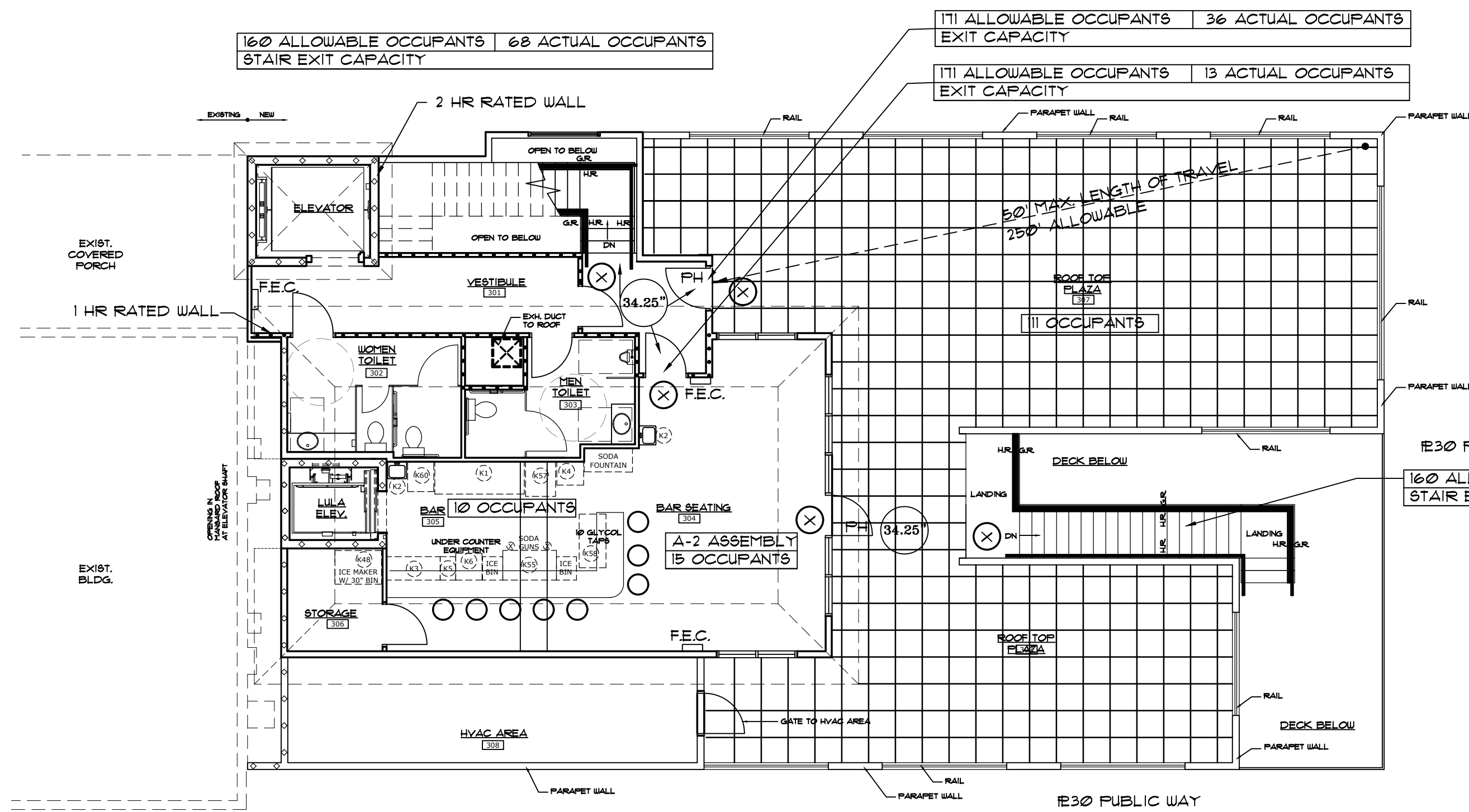
ARCHITECT: Coastal Architecture
CONTRACTOR: PRIMUS STRUCTURES
252.247.2127
www.coastalarchitecture.net

NOTE: SUBMIT SHOP DRAWING FOR COORDINATION OF LETTER HEIGHTS SPECIFIC SIGN COLORS.
NOTE: VERIFY SIGN SIZES AND REQUIREMENTS W/ TOWN OF SWANSBORO

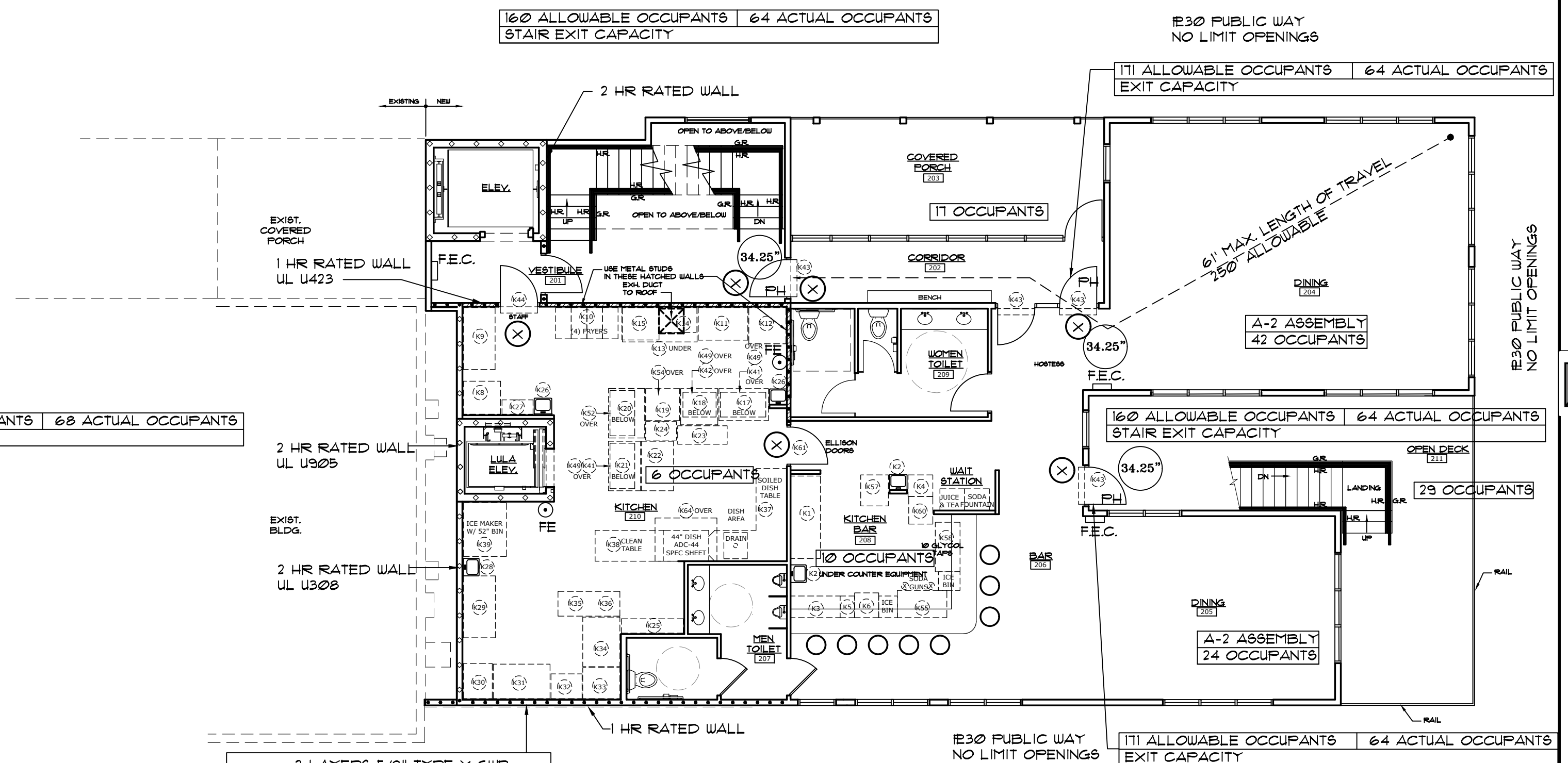
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Architectural Design
Planning
Interiors
AIA
Member of the American Institute of Architects
Lee D. Dixon, Jr., AIA
252-247-2127
lee@coastalarchitecture.net
4206 Bridges St. Ext., Suite C
Morehead City, NC 28557
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PRIMUS STRUCTURES

ICE HOUSE RESTAURANT
FRONT ST. & MOORE ST.
SWANSBORO, NORTH CAROLINA

NOTICE TO PROCEED
OFFICIAL SEAL
6419
GENERAL DATA
18050
ISSUED: 11/15/19
DWG BY: MES/BLS
CKD BY: LDD
REVISIONS
SHEET NO.
G-1
OF



3 ROOF PLAZA LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"



2 MAIN LEVEL LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"

2 LAYERS 5/8" TYPE X GUB
 2 x 6 STUDS
 (FIREBLOCK BETWEEN STUDS)
 SIDING ON
 2 LAYERS 5/8" TYPE X GUB
 ON 1/2" PLYWOOD

OCCUPANCY/LOAD TYPE KEYING:

A-2 = ASSEMBLY
 S-2 = STORAGE

LEGEND:

FE = FIRE EXTINGUISHER ON STANDARD HOOK
 F.E.C. = FIRE EXTINGUISHER AND CABINET
 LARSEN SEMI-RECESSED FS 2409-R3
 BRUSHED CHROME W/ MPB FIRE EXTINGUISHER

• • • • • 1 HR RATED WALL (UL U305)
 ◊ ◊ ◊ ◊ ◊ 2 HR RATED WALL (UL U305) AND (UL U308)

1 HR SHAFT WALL
 METAL STUDS
 5/8" GUB

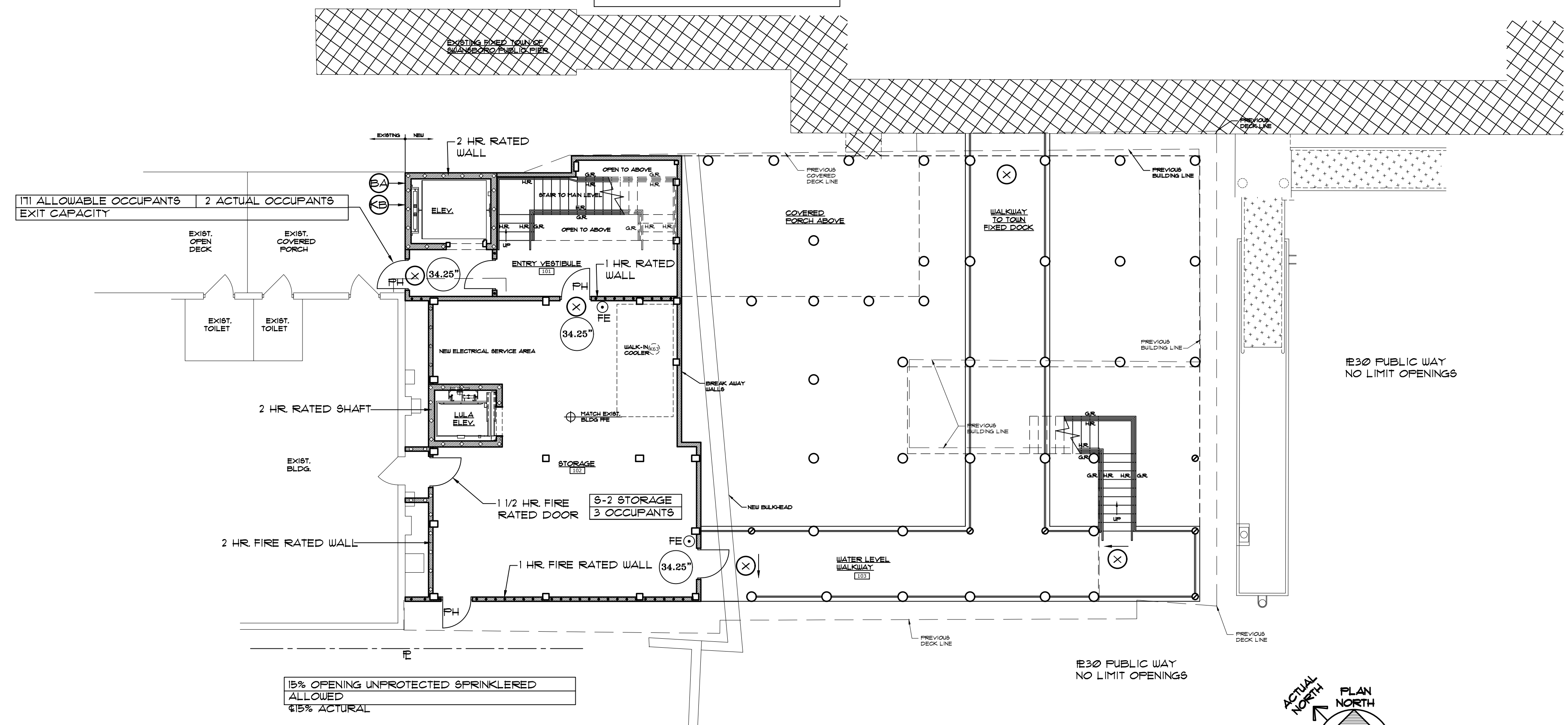
34.25' = CLEAR EXIT WIDTH

⊗ = EXIT

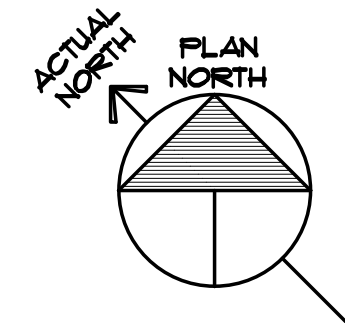
B.A. = BUILDING ADDRESS- 6" MIN. HEIGHT, ON
 CONTRASTING BACKGROUND, READILY VISIBLE FROM
 STREET

K.B. = KNOX BOX, FIRE DEPARTMENT KEY LOCK BOX
 CONFIRM LOCATION W/ FIRE DEPARTMENT

P.H. = PANIC HARDWARE



1 WATER LEVEL LIFE SAFETY PLAN
 SCALE: 1/8" = 1'-0"



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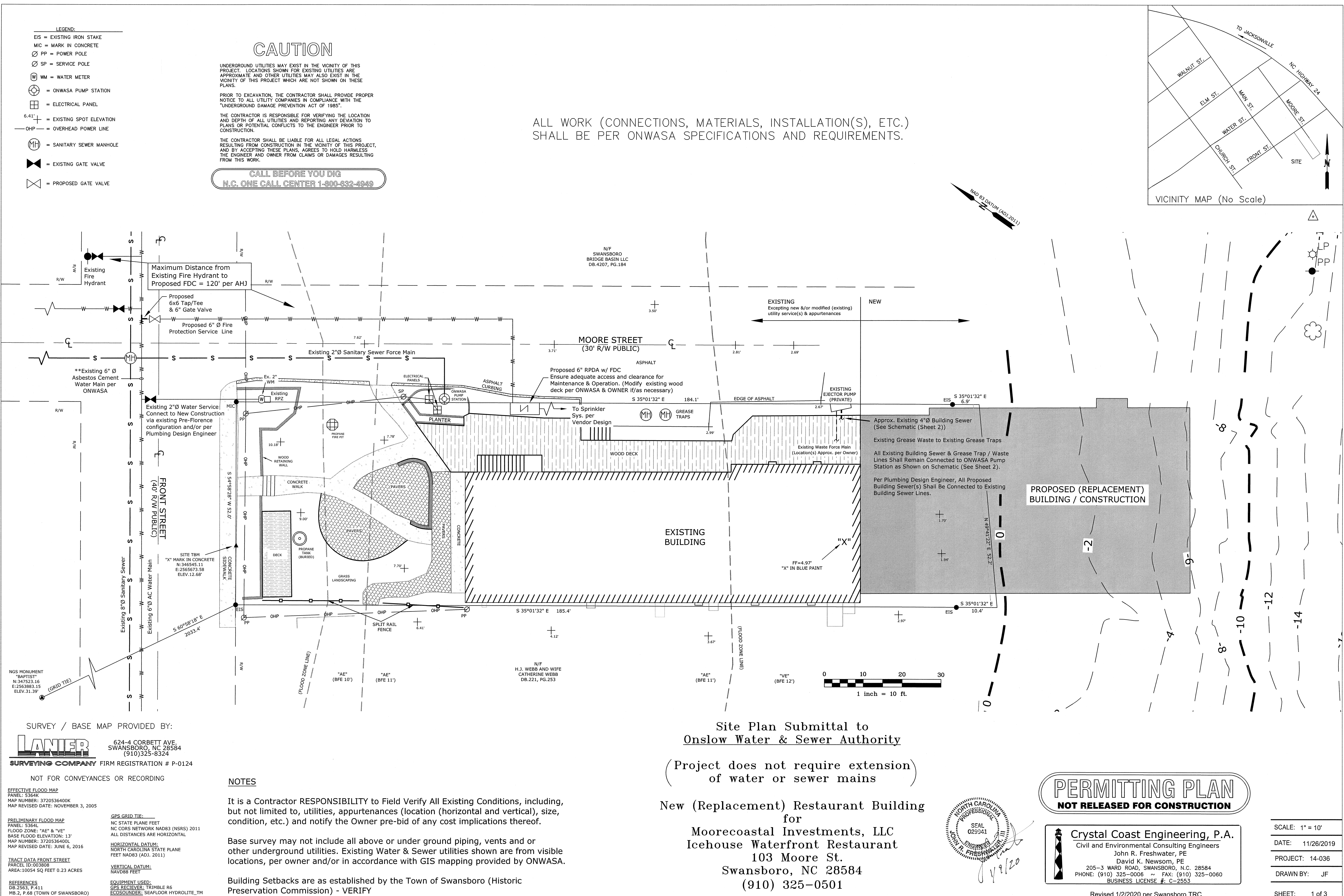
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18050
 ISSUED: 11/15/19
 DWG BY: MES/BLS
 CKD BY: LDD
 REVISIONS

G-2
 OF



CAUTION

UNDERGROUND UTILITIES MAY EXIST IN THE VICINITY OF THIS PROJECT. LOCATIONS SHOWN FOR EXISTING UTILITIES ARE APPROXIMATE AND OTHER UTILITIES MAY ALSO EXIST IN THE VICINITY OF THIS PROJECT WHICH ARE NOT SHOWN ON THESE PLANS.

PRIOR TO EXCAVATION, THE CONTRACTOR SHALL PROVIDE PROPER NOTICE TO ALL UTILITY COMPANIES IN COMPLIANCE WITH THE "UNDERGROUND DAMAGE PREVENTION ACT OF 1985".

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND REPORTING ANY DEVIATION TO PLANS OR POTENTIAL CONFLICTS TO THE ENGINEER PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL BE LIABLE FOR ALL LEGAL ACTIONS RESULTING FROM CONSTRUCTION IN THE VICINITY OF THIS PROJECT, AND BY ACCEPTING THESE PLANS, AGREES TO HOLD HARMLESS THE ENGINEER AND OWNER FROM CLAIMS OR DAMAGES RESULTING FROM THIS WORK.

CALL BEFORE YOU DIG
N.C. ONE CALL CENTER 1-800-632-4949

ALL WORK (CONNECTIONS, MATERIALS, INSTALLATION(S), ETC.) SHALL BE PER ONWASA SPECIFICATIONS AND REQUIREMENTS.

Site Plan Submittal to
Onslow Water & Sewer Authority

(Project does not require extension
of water or sewer mains)

New (Replacement) Restaurant Building
for
Moorecoastal Investments, LLC
Icehouse Waterfront Restaurant
103 Moore St.
Swansboro, NC 28584
(910) 325-0501

PERMITTING PLAN
NOT RELEASED FOR CONSTRUCTION

Crystal Coast Engineering, P.A.
Civil and Environmental Consulting Engineers
John R. Freshwater, PE
David K. Newsom, PE
205-3 WARD ROAD, SWANSBORO, N.C. 28584
PHONE: (910) 325-0006 ~ FAX: (910) 325-0060
BUSINESS LICENSE #: C-2553

SCALE: 1" = 10'
DATE: 11/26/2019
PROJECT: 14-036
DRAWN BY: JF
SHEET: 1 of 3

SURVEY / BASE MAP PROVIDED BY:
LANIER
SURVEYING COMPANY
624-4 CORBETT AVE.
SWANSBORO, NC 28584
(910) 325-8324
FIRM REGISTRATION # P-0124

NOT FOR CONVEYANCES OR RECORDING

EFFECTIVE FLOOD MAP
PANEL: 5364K
MAP NUMBER: 3720536400K
MAP REVISED DATE: NOVEMBER 3, 2005

PRELIMINARY FLOOD MAP
PANEL: 5364L
FLOOD ZONE: "AE" & "VE"
BASE FLOOD ELEVATION: 13'
MAP NUMBER: 3720536400L
MAP REVISED DATE: JUNE 6, 2016

TRACT DATA FRONT STREET
PARCEL ID: 003808
AREA: 10054 SQ FEET 0.23 ACRES

REFERENCES
DB. 2563, P. 411
MB. 2, P. 68 (TOWN OF SWANSBORO)

GPS GRID TIE:
NC STATE PLANE FEET
NC CORS NETWORK NAD83 (NSRS) 2011
ALL DISTANCES ARE HORIZONTAL

HORIZONTAL DATUM:
NORTH CAROLINA STATE PLANE
FEET NAD83 (AD. 2011)

VERTICAL DATUM:
NAVD88 FEET

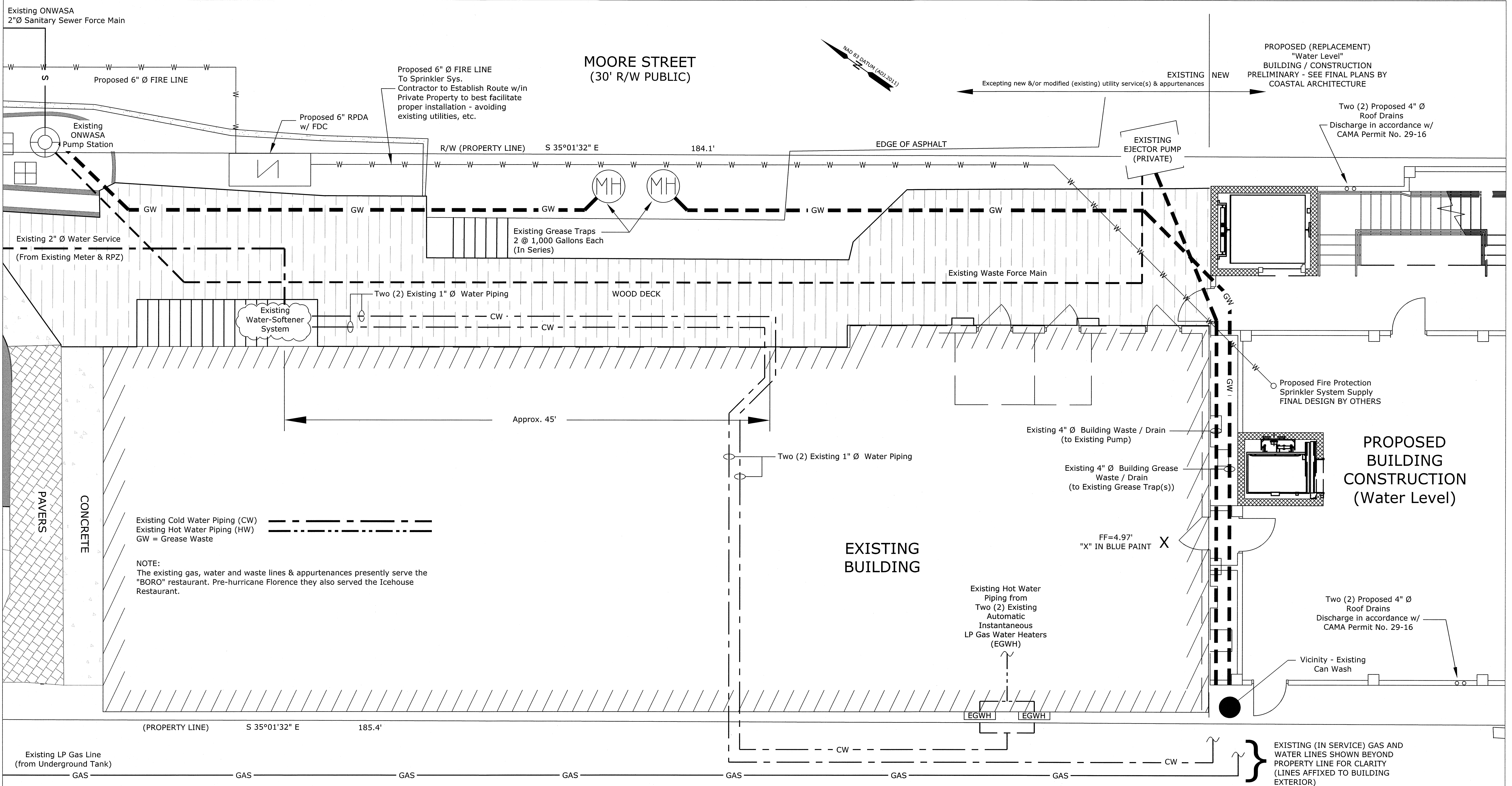
EQUIPMENT USED:
GPS RECEIVER: TRIMBLE R6
ECOSOUNDER: SEAPLOAR HYDROLITE TM

NOTES

It is a Contractor RESPONSIBILITY to Field Verify All Existing Conditions, including, but not limited to, utilities, appurtenances (location (horizontal and vertical), size, condition, etc.) and notify the Owner pre-bid of any cost implications thereof.

Base survey may not include all above or under ground piping, vents and or other underground utilities. Existing Water & Sewer utilities shown are from visible locations, per owner and/or in accordance with GIS mapping provided by ONWASA.

Building Setbacks are as established by the Town of Swansboro (Historic Preservation Commission) - VERIFY



PARTIAL SCHEMATIC

Per Contractor Request
(Not for Construction)

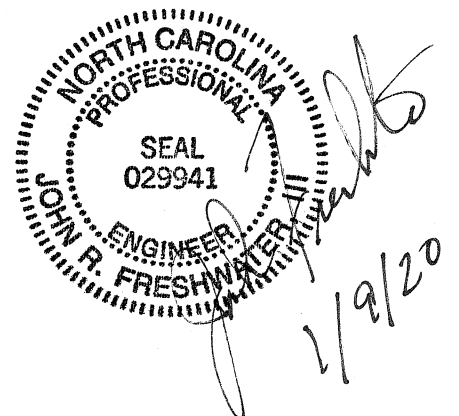
EXISTING WATER SUPPLY, BUILDING WASTE & LP GAS - SHOWN PER OWNER
&
PROPOSED FIRE PROTECTION WATER SUPPLY
for

New (Replacement) Restaurant Building
Moorecoastal Investments, LLC
Icehouse Waterfront Restaurant
103 Moore St.
Swansboro, NC 28584
(910) 325-0501

NOTE

It is a Contractor RESPONSIBILITY to Field Verify All Existing Conditions, including,
but not limited to, utilities, appurtenances (location (horizontal and vertical), size,
condition, etc.) and notify the Owner pre-bid of any cost implications thereof.

PERMITTING PLAN
NOT RELEASED FOR CONSTRUCTION



Crystal Coast Engineering, P.A.
Civil and Environmental Consulting Engineers
John R. Freshwater, PE
David K. Newsom, PE
205-3 WARD ROAD, SWANSBORO, N.C. 28584
PHONE: (910) 325-0006 ~ FAX: (910) 325-0060
BUSINESS LICENSE #: C-2553

Revised 1/8/2020 for ONWASA Submittal

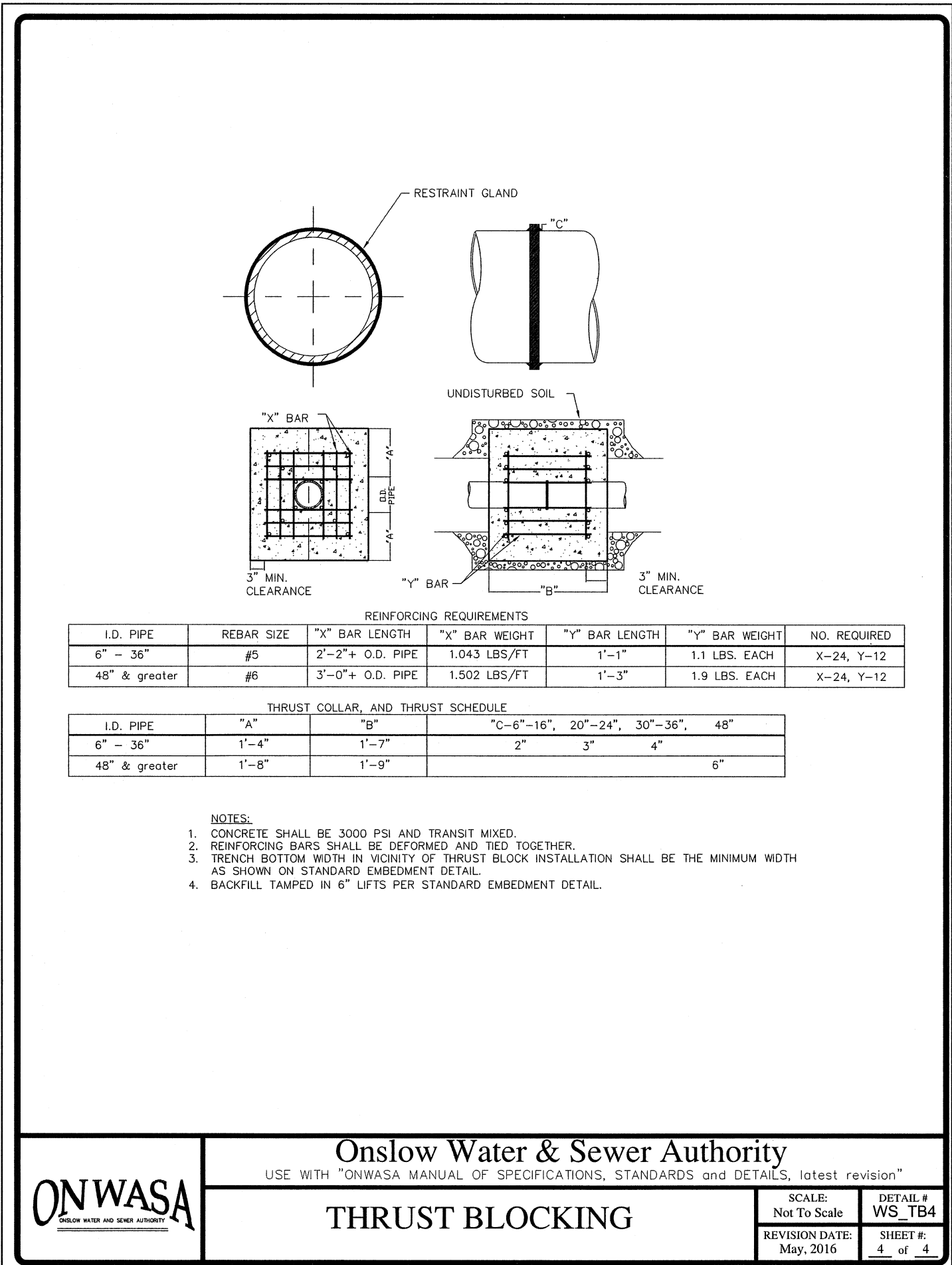
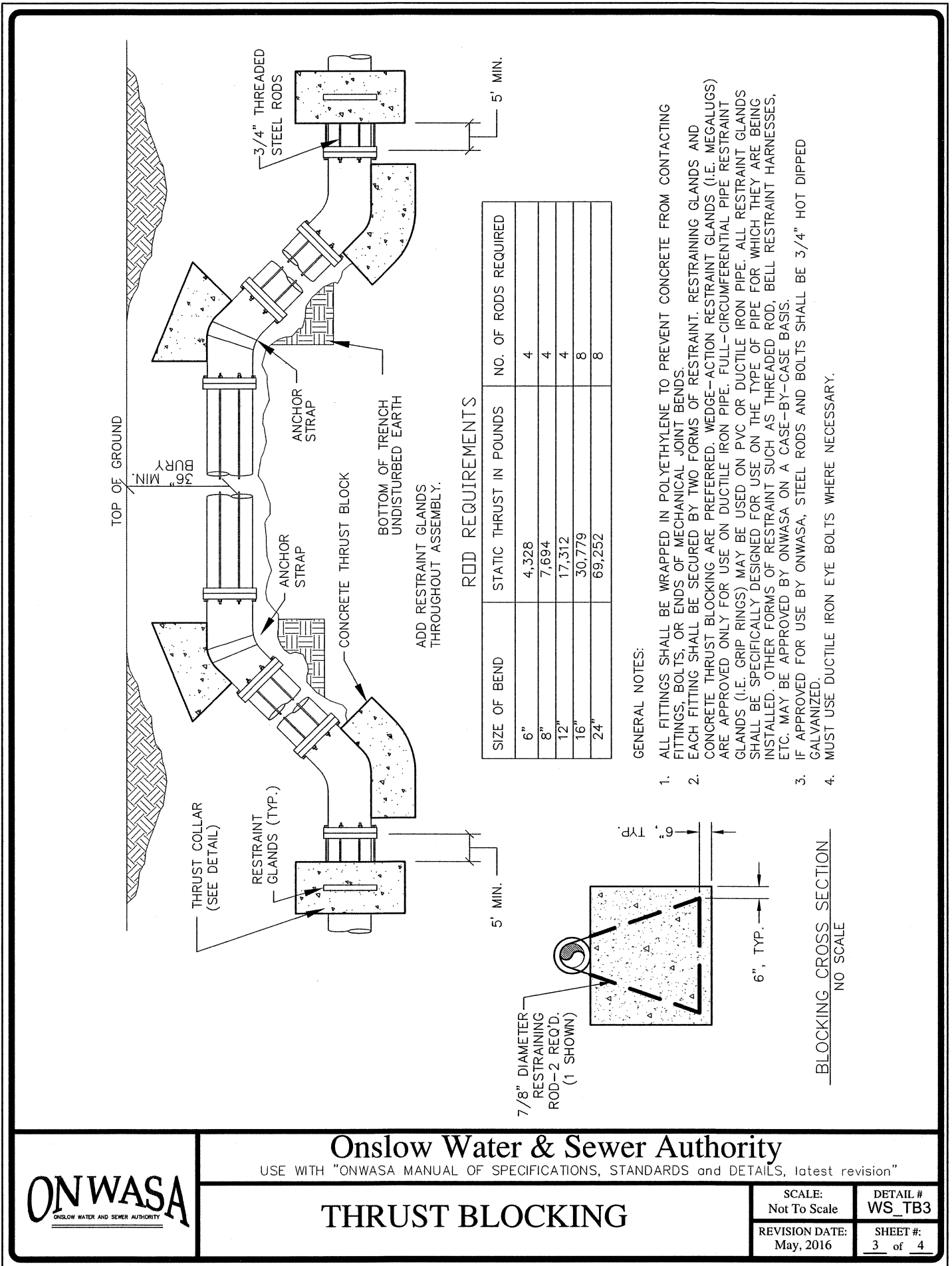
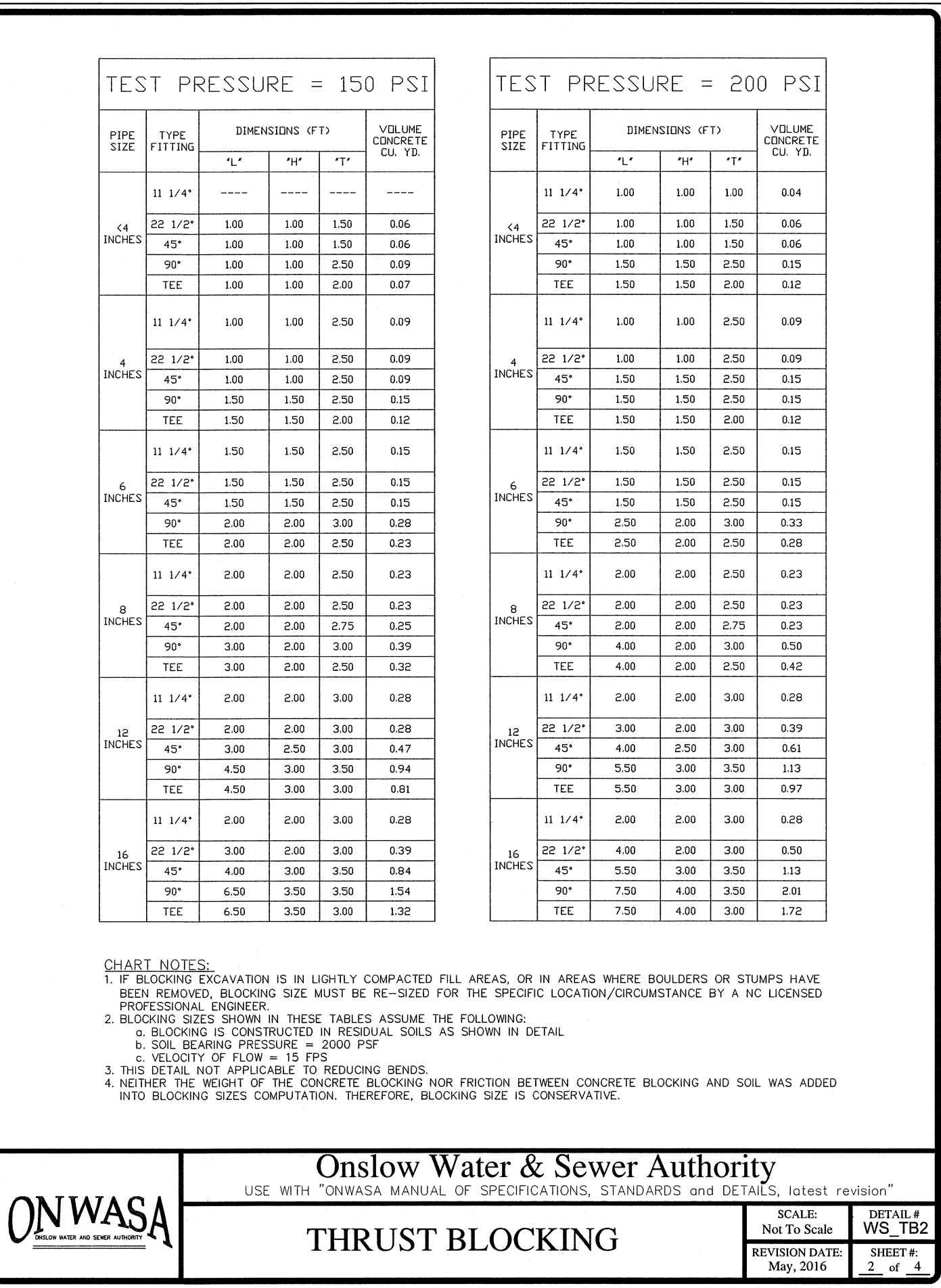
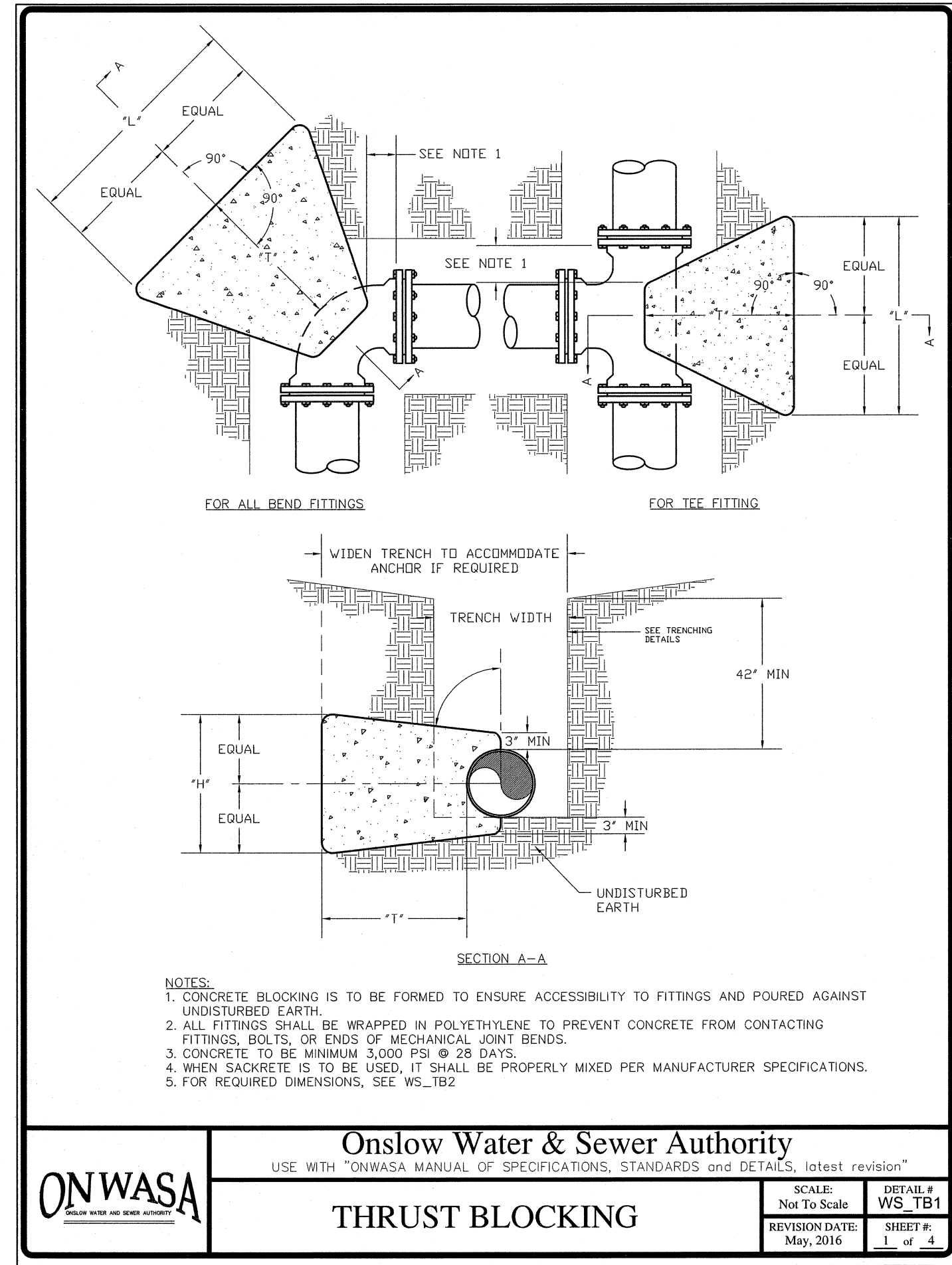
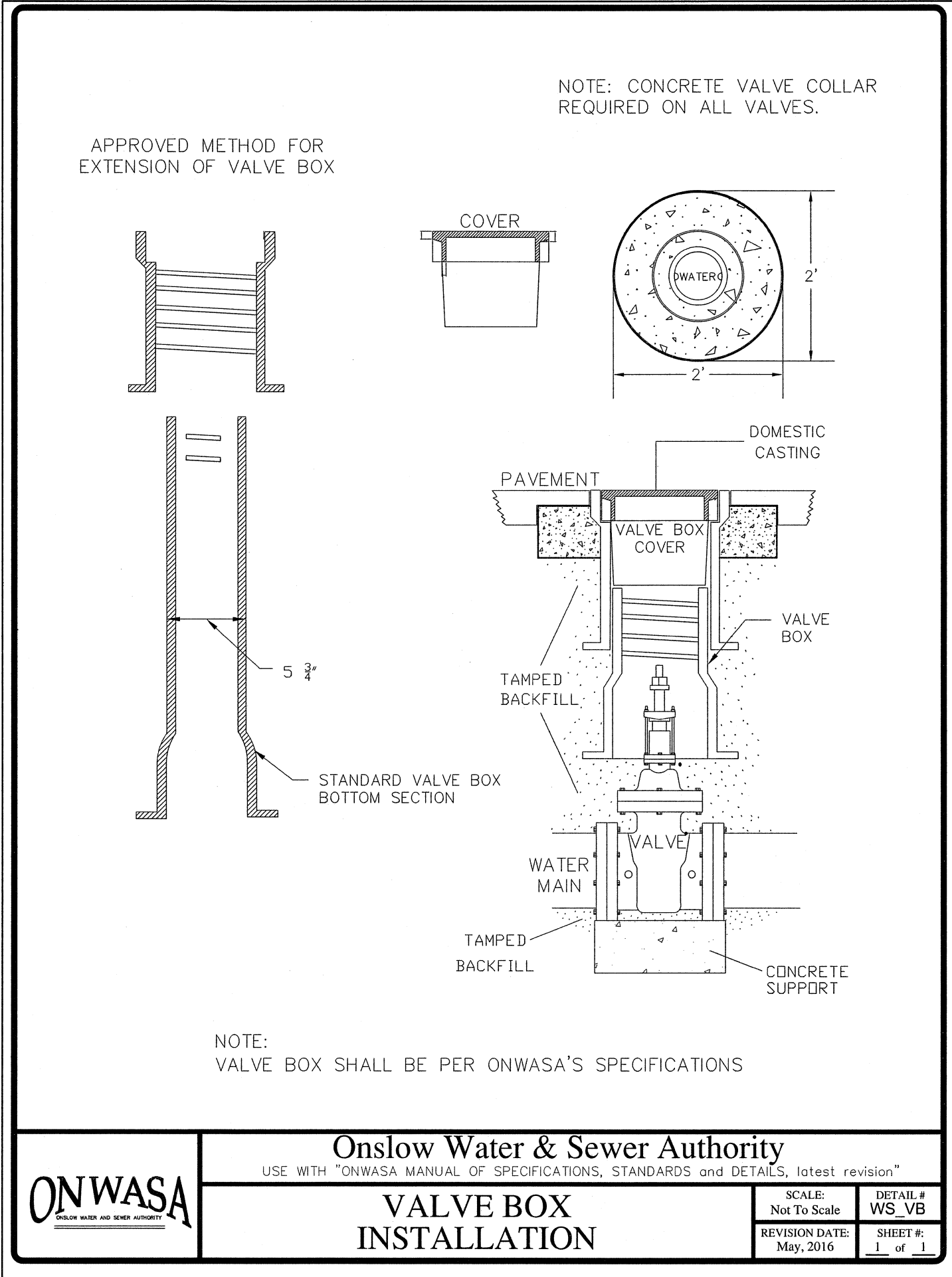
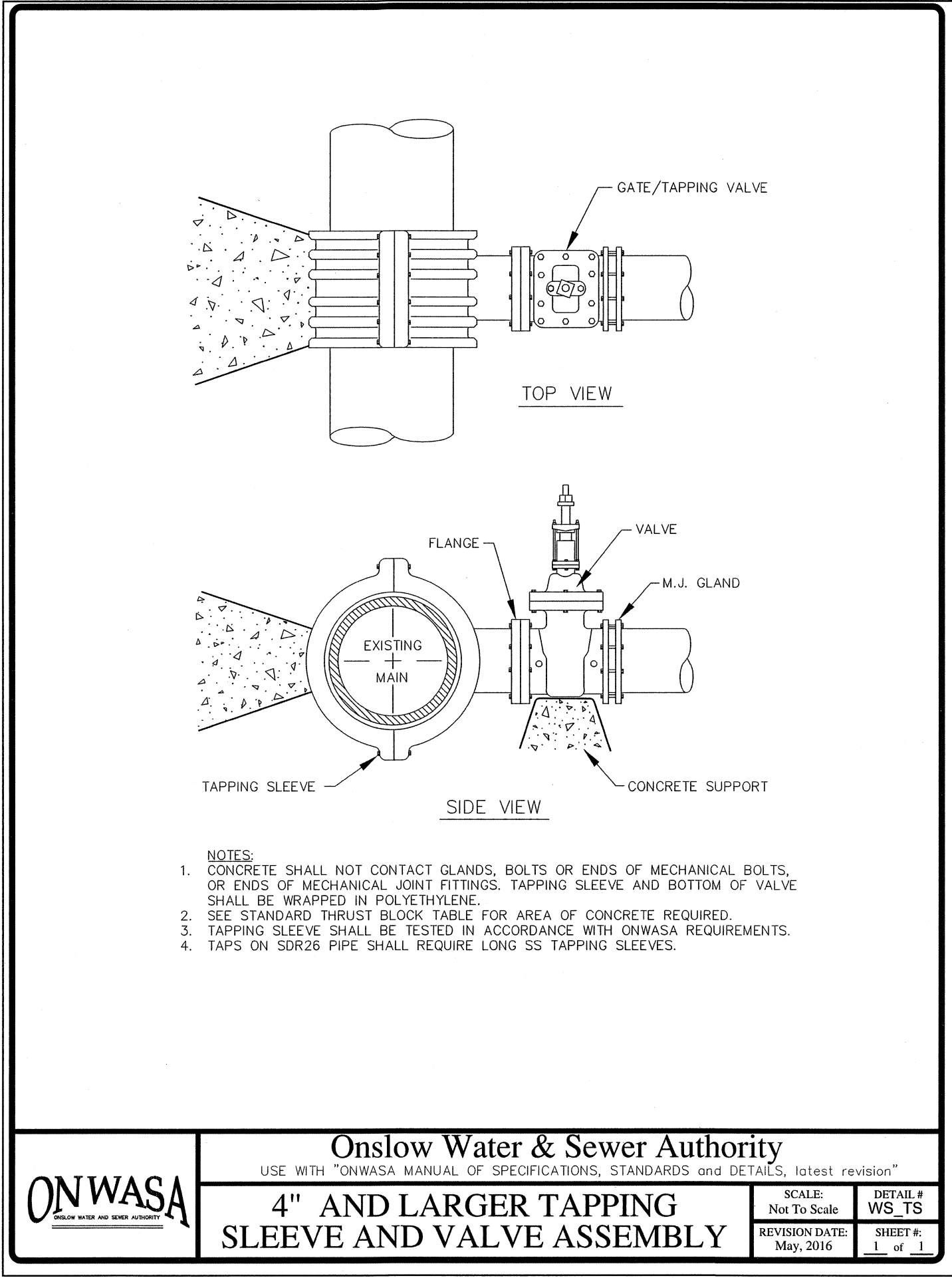
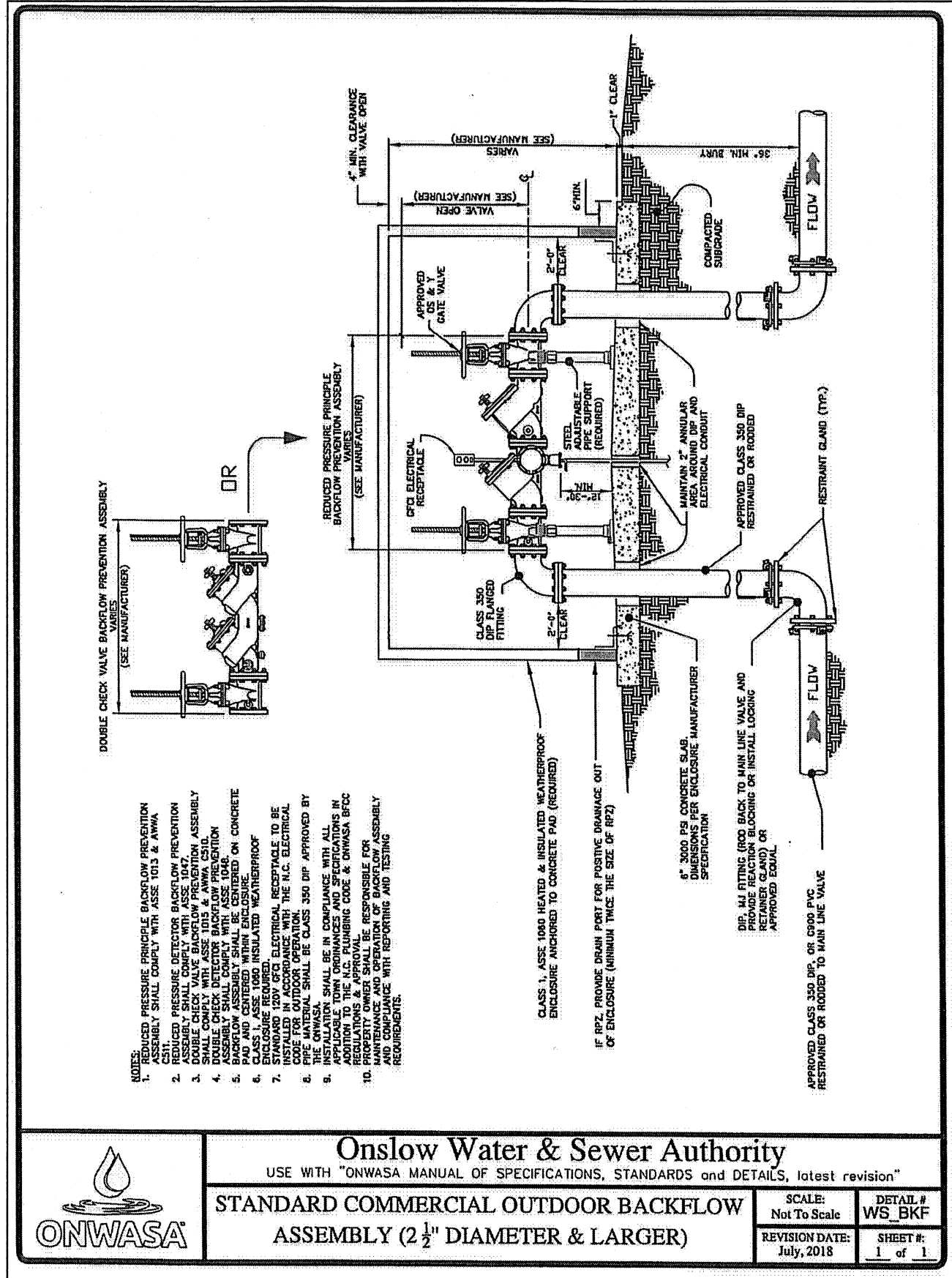
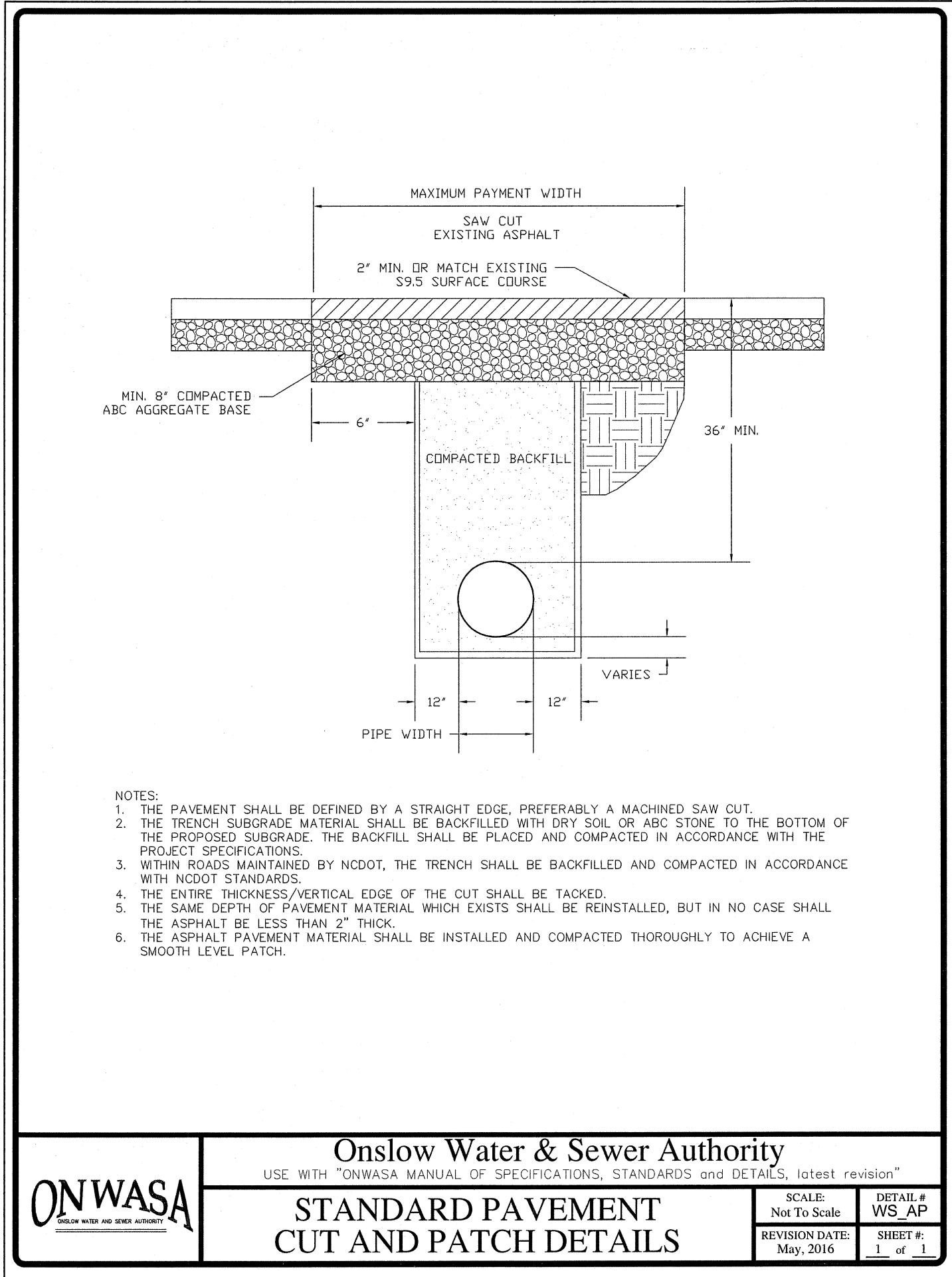
SCALE: 1/4" = 1'

DATE: 01/01/2020

PROJECT: 14-036

DRAWN BY: JF

SHEET: 2 of 3



Site Plan Submittal to
Onslow Water & Sewer Authority

(Project does not require extension
of water or sewer mains)

New (Replacement) Restaurant Building

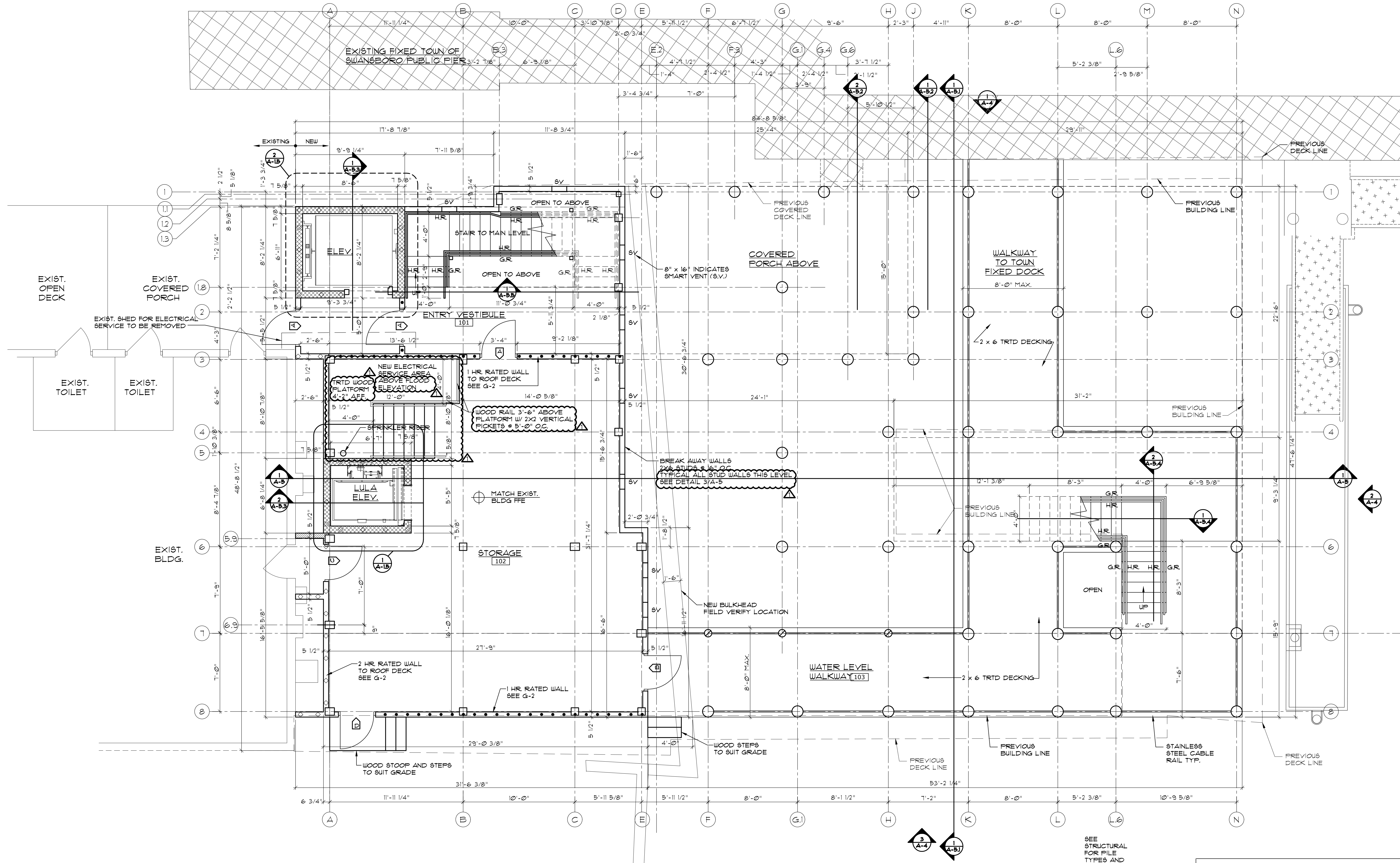
Moorecoastal Investments, LLC
Icehouse Waterfront Restaurant
103 Moore St.
Swansboro, NC 28584
(910) 325-0501

PERMITTING PLAN
NOT RELEASED FOR CONSTRUCTION

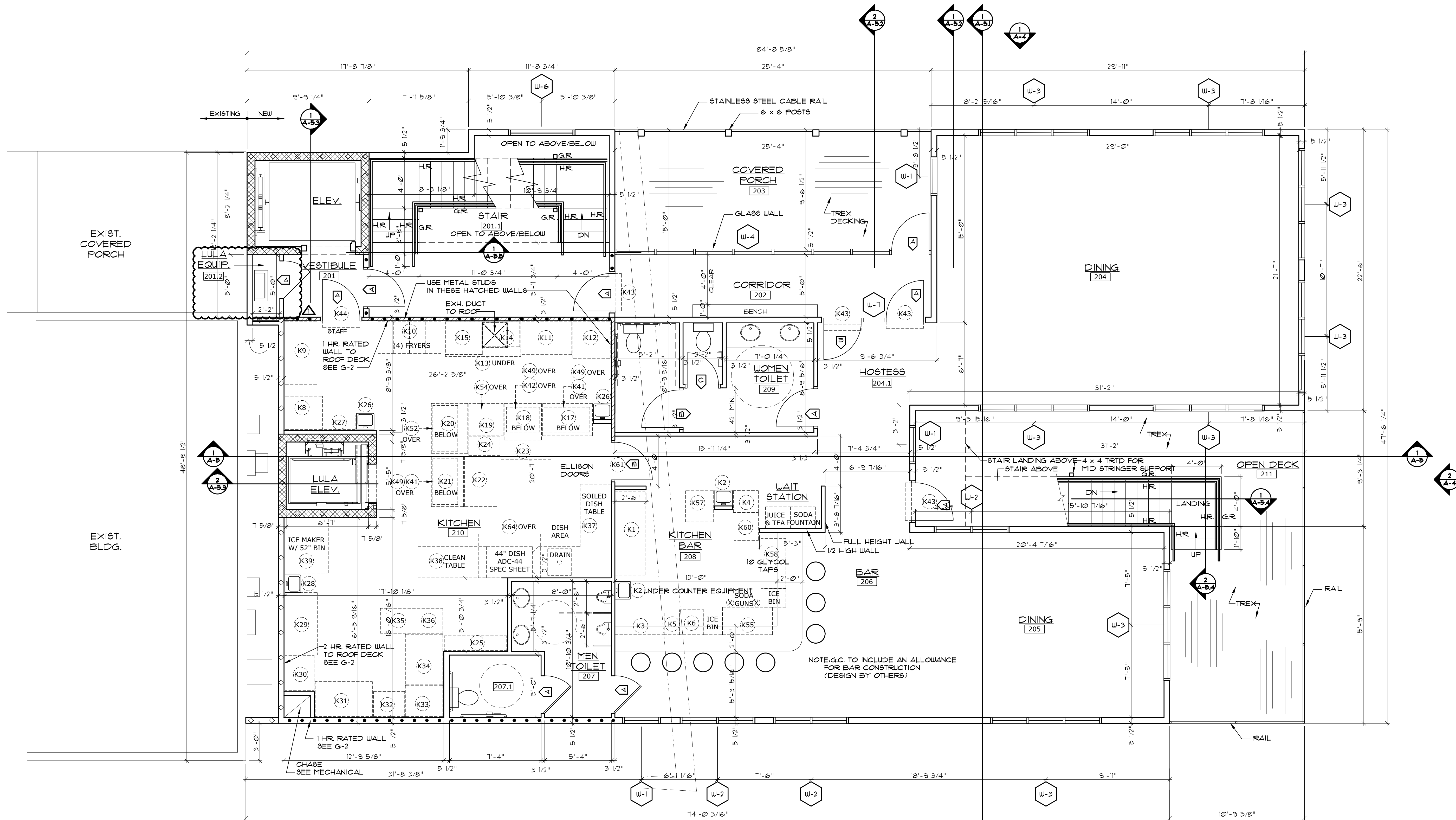
NORTH CAROLINA
PROFESSIONAL
ENGINEER
SEAL
029941
JOHN K. FRESHWATER
1/19/20

Crystal Coast Engineering, P.A.
Civil and Environmental Consulting Engineers
John R. Freshwater, PE
David K. Newsom, PE
205-3 WARD ROAD, SWANSBORO, N.C. 28584
PHONE: (910) 325-0006 ~ FAX: (910) 325-0060
BUSINESS LICENSE # C-2553

SCALE: NA
DATE: 11/26/2019
PROJECT: 14-036
DRAWN BY: JF
SHEET: 3 of 3



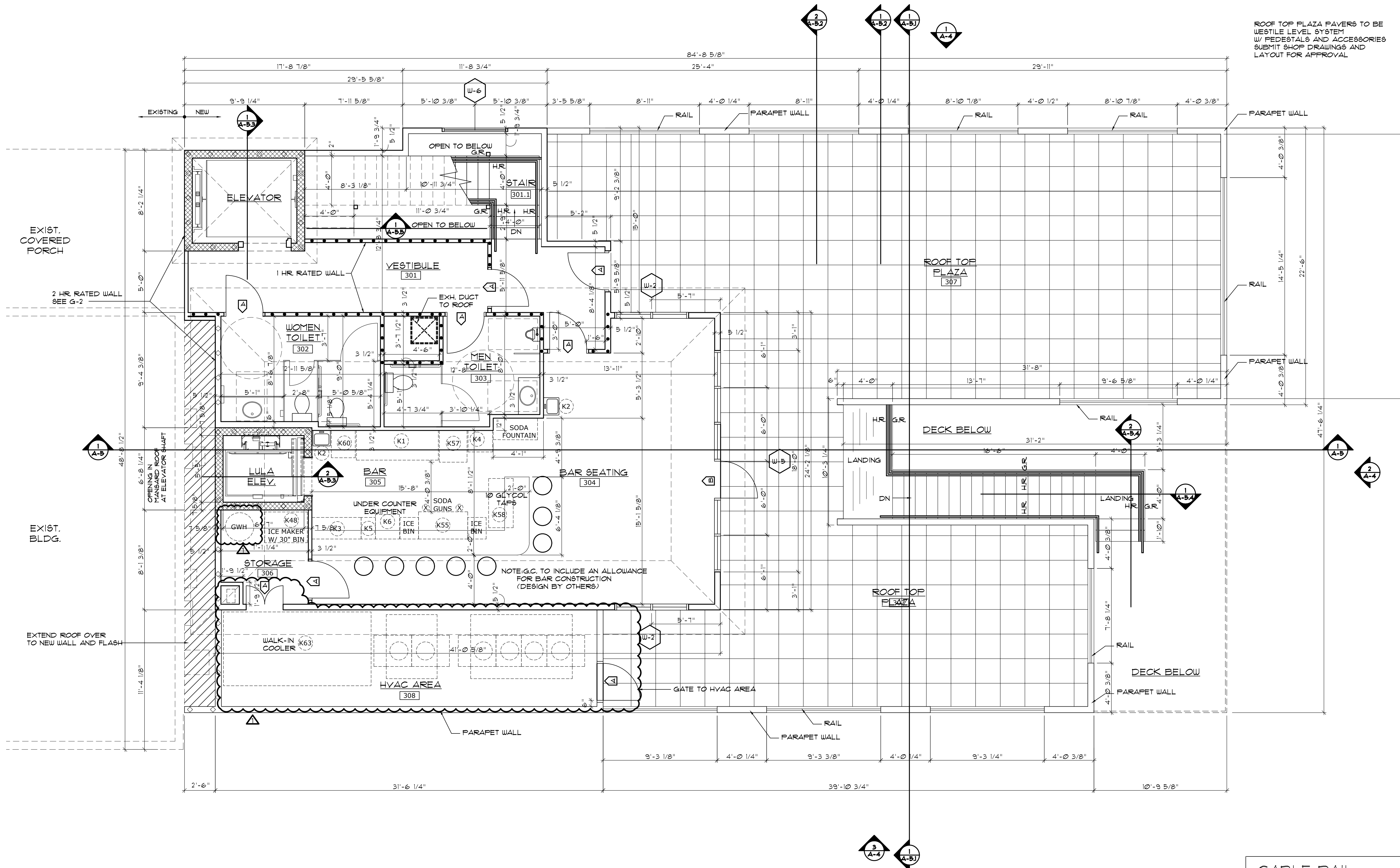
1 WATER LEVEL PLAN
SCALE: 1/4" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

CABLE RAIL	
-Rainer Cable Railing System	
-Round Top Rail	
-Horizontal Infill	
-Finish: Brushed Stainless Steel	
-Mount: Top, or as Required	
-Provide Intermediates as Required	
STAIR RAIL	
-Similar to Cable Rail System but with Guardrail and Handrails	

ROOF TOP PLAZA PAVES TO BE
WESTILE LEVEL SYSTEM
W/ PEDESTALS AND ACCESSORIES
SUBMIT SHOP DRAWINGS AND
LAYOUT FOR APPROVAL



1 ROOF PLAZA PLAN
SCALE: 1/4" = 1'-0"

CABLE RAIL	
-Rainer Cable Railing System	
-Round Top Rail	
-Horizontal Infill	
-Finish: Brushed Stainless Steel	
-Mount: Top, or as Required	
-Provide Intermediates as Required	
STAIR RAIL	
-Similar to Cable Rail System	
-but with Guardrail and Handrails	

ROOF TOP PLAZA PAVERS TO BE
WESTILE LEVEL SYSTEM
W/ PEDESTALS AND ACCESSORIES
SUBMIT SHOP DRAWINGS AND
LAYOUT FOR APPROVAL

TAPERED ROOF INSULATION TO BE
1/4" / FT SLOPE MIN. 2 1/2" THICKNESS
SUBMIT SHOP DRAWINGS AND LAYOUT
FOR APPROVAL

TOP ROOFING 080 RATED FOR 150 MPH WIND
SUBMIT SHOP DRAWINGS FOR APPROVAL

INDICATES ROOF DRAIN
ON ROOF BELOW DECK PAVERS, TYP.

INDICATES ROOF PAVERS SET LEVEL, TYP.

INDICATES ROOF SLOPE LINE, TYP.

RAIL

PARAPET WALL

LANDING

DN

LANDING

DECK BELOW

RAIL

DECK BELOW

RAIL

PARAPET WALL

RAIL

PARAPET WALL

RAIL

PARAPET WALL

RAIL

PARAPET WALL

RAIL

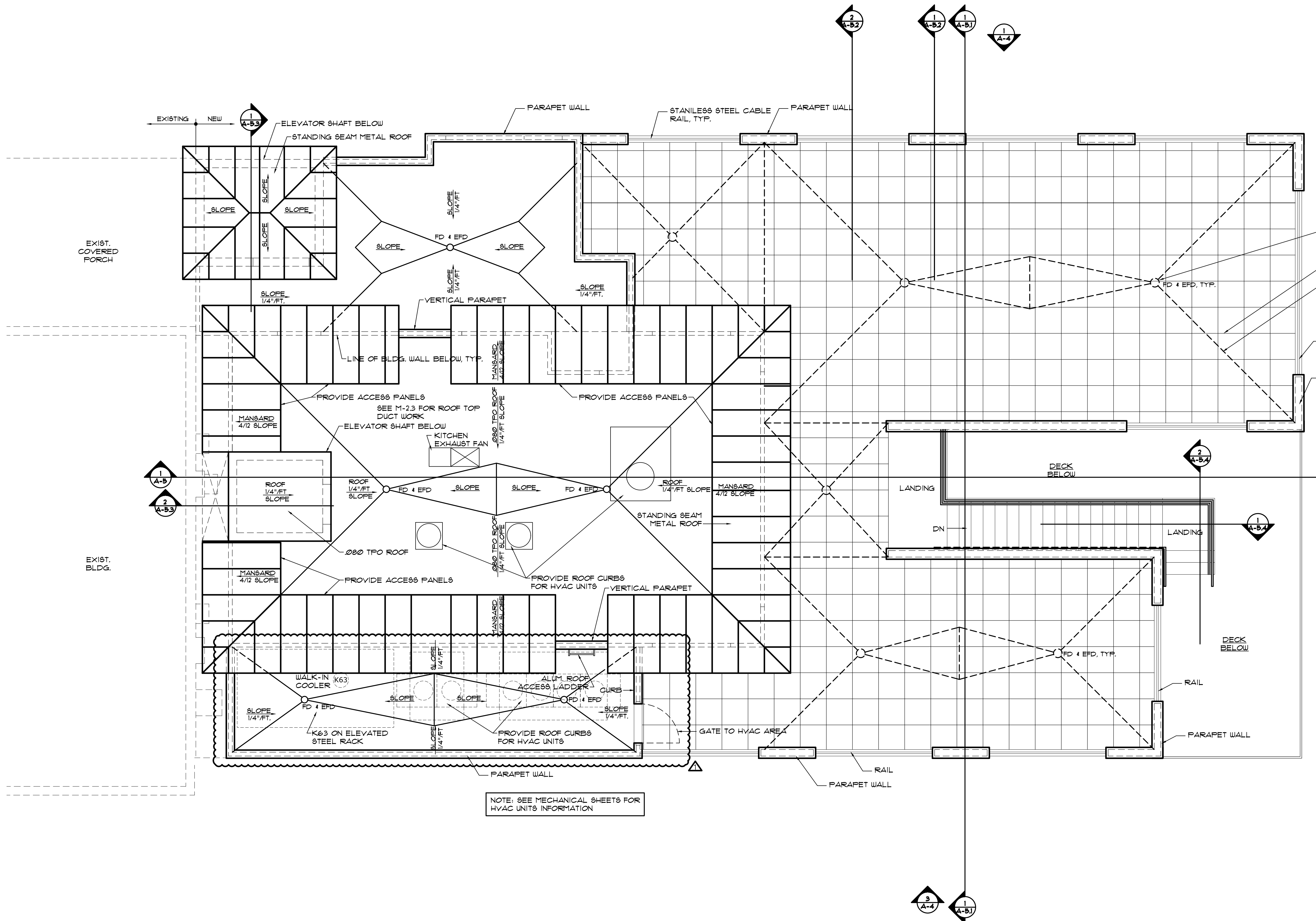
PARAPET WALL

RAIL

PARAPET WALL

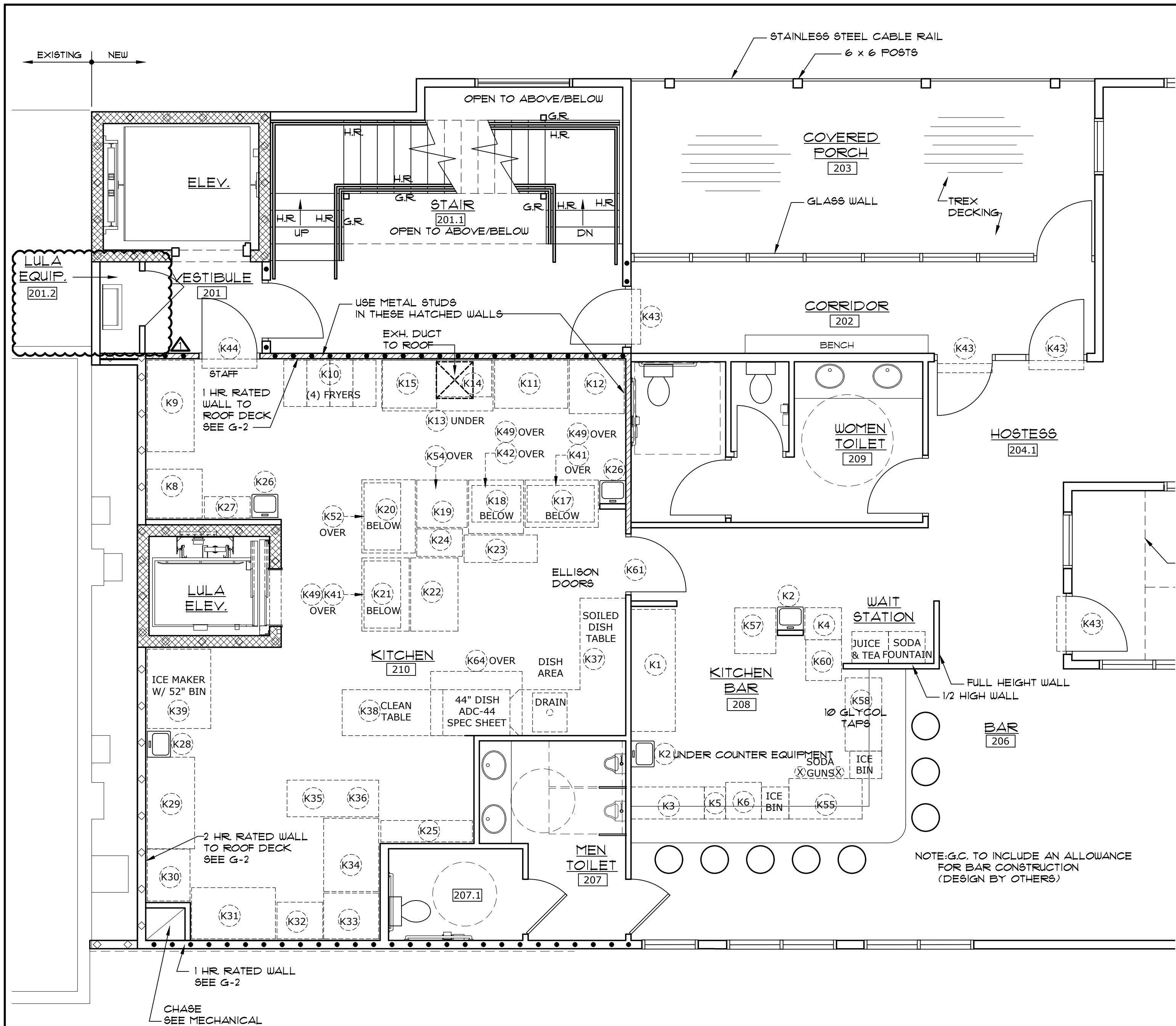
RAIL

PARAPET WALL



NOTE: SEE MECHANICAL SHEETS FOR
HVAC UNITS INFORMATION

1 **ROOF PLAN**
SCALE: 1/4" = 1'-0"



KITCHEN EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

KITCHEN EQUIPMENT SCHEDULE				
ITEM NO.	MANUFACTURER	MODEL NO.	LENGTH	REMARKS/ACCESSORIES
EXHAUST HOOD 1	CAPTIVEAIRE	5424 ND-2-FSP-F	9'-0"	
EXHAUST HOOD 2	CAPTIVEAIRE	5424 ND-2-FSP-F	10'-0"	
CONDENSATE HOOD 3	CAPTIVEAIRE	4824 VHB-G	6'-0"	
EXHAUST FAN 2	CAPTIVEAIRE	DUIB04FA		
SUPPLY FAN 3	CAPTIVEAIRE	A2-20D-MPU		
EXHAUST FAN 4	CAPTIVEAIRE	DUIB04FA		
CURB FOR EXHAUST FAN 1	CAPTIVEAIRE	CRB26.5x24E		
CURB FOR EXHAUST FAN 2	CAPTIVEAIRE	CRB26.5x24E		
CURB FOR SUPPLY FAN 3	CAPTIVEAIRE	CRB31x14E		
CURB FOR SUPPLY FAN 4	CAPTIVEAIRE	CRB19.5x24E		
ELECTRICAL SYSTEM #1	CAPTIVEAIRE	DCV-2111		

KITCHEN EQUIPMENT SCHEDULE

NO.	ITEM DESCRIPTION	MANUFACTURER	MODEL NO.	DIMENSIONS (WxDxH)	REMARKS/ACCESSORIES
K-1	BACK BAR CABINET, REFRIGERATED	HOSHIZAKI	HBB-3G-LD-80	80"W, 29"D, 36.88"H 26.74 CU. FT.	LOCATION BY OWNER LOCATION BY OWNER
K-2	HAND SINK	KROUNE METAL	WM200	17"W, 15 1/4"D, 13"H WALL MOUNT	
K-3	UNDER BAR SINK UNITS	JOHN BOOS	EUB3848-1RD-X	48"W x 21"D x 32 1/2"H	
K-4	GLASS RACK	JOHN BOOS	EUBGRS-24-3-X	24"W x 21"D x 32 1/8"H	
K-5	UNDER BAR SINK UNITS	JOHN BOOS	EUBDS-1014-X	14"W x 21"D x 32 1/2"H	W/DOUBLE OVERSHELF H6-5164
K-6	DISHWASHER, UNDERCOUNTER	CMA DISHMACHINES	UC50E	23 1/16"W x 24"D x 33 5/8"H	
K-7	GARBAGE CAN	WINCO	FTC-23K	23 GALLON	
K-8	GARBAGE CAN CART	WINCO	DWR-110B	18 1/2"L x 9 1/2"W x 1"H	
K-9	WORKTOP FREEZER	CONTINENTAL REFRIGERATOR	SUF36NB5-FB	36"W, 32 3/16"D, 39 1/2"H OVERALL	W/DOUBLE OVERSHELF H6-5236
K-10	SANDWICH/SALAD PREPARATION REFRIGERATOR	HOSHIZAKI	SR60A-16	60"W, 30.1"D, 45.75"H OVERALL	
K-11	GAS FLOOR FRYER	FITCO FRIALATOR	40D	15 1/8"W, 30 9/32"D, 41 9/32"H OVERALL	
K-12	RANGE, 48", 8 OPEN BURNERS	IMPERIAL	IR-8-XB	48"W, 31 1/2"D, 56 1/2"H OVERALL	
K-13	MEGA TOP SANDWICH/SALAD PREPARATION REFRIG.	HOSHIZAKI	SR36A-15M	36"W, 35"D, 44.25"H OVERALL	W/DOUBLE OVERSHELF H6-5164
K-14	EQUIPMENT STAND, REFRIGERATED BASE	HOSHIZAKI	CR12A	12-1/2"W, 33-1/4"D x 21"H OVERALL	
K-15	GAS COUNTERTOP GRIDDLE	IMPERIAL	ITG-36	36"W x 24"D COOKING SURFACE	
K-16	CHARBROILER, GAS, COUNTERTOP	IMPERIAL	IRB-36	36"W, x 31 3/8"D, x 13 3/4"H	
K-17	GAS CONNECTOR HOSE KIT	KROUNE METAL	MT548K	3/4"ID, 48" LONG	W/DOUBLE OVERSHELF H6-5164
K-18	REFRIGERATED WORK TOP	HOSHIZAKI	WR48A	48"W, 31"D, 40"H OVERALL	
K-19	MEGA TO SANDWICH/SALAD PREPARATION REFRIGERATOR	HOSHIZAKI	SR36A15M	36"W x 35"D x 44.25"H OVERALL	
K-20	HOT FOOD SERVING COUNTER/TABLE	ADMIRAL CRAFT	ST-1207	33"W, x 31"D, x 34 1/4"H	
K-21	MEGA TOP SANDWICH/SALAD PREPARATION REFRIGERATOR	HOSHIZAKI	SR48A-18M	48"W x 35"D x 44.25"H OVERALL	W/DOUBLE OVERSHELF H6-5164
K-22	WORKTOP FREEZER	HOSHIZAKI	WF48A	48"W x 31"D x 40"H OVERALL	
K-23	SANDWICH/SALAD PREPARATION REFRIGERATOR	HOSHIZAKI	SR48A-12	48"W x 31"D x 44.25"H OVERALL	
K-24	WORK TABLE, 48", STAINLESS STEEL TOP	JOHN BOOS	UFBLG48B-X	48"W x 18"D, 18/430 S.S.	
K-25	WIRE SHELVING UNIT	NEXEL	1830TEP	30"W x 18"D x 14"H	VERIFY SPACE REQUIREMENTS
K-26	WIRE SHELVING UNIT	NEXEL	1460TEP	60"W x 14"D x 14"H	
K-27	HAND SINK	KROUNE METAL	WM200	17"W, 15 1/4"D, 13"H WALL MOUNT	
K-28	WIRE SHELVING UNIT	NEXEL	1430TEP	30"W x 14"D x 14"H	
K-29	HAND SINK	KROUNE METAL	WM200	17"W, 15 1/4"D, 13"H WALL MOUNT	VERIFY LOCATION VERIFY LOCATION
K-30	REFRIGERATOR WORK TOP	HOSHIZAKI	WR60A	60"W x 31"D x 40"H	
K-31	PROOFER CABINET, MOBILE	BEVLES COMPANY	HC5814W121	28"W x 34"D x 73.75"H	
K-32	REACH-IN REFRIGERATOR	HOSHIZAKI	R2A-FS	55"W x 33.5"D x 79.5"H	
K-33	WIRE SHELVING UNIT	NEXEL	2430TEP	30"W x 24"D x 14"H	VERIFY LOCATION VERIFY LOCATION
K-34	WIRE SHELVING UNIT	NEXEL	3036TEP	36"W x 30"D x 14"H	
K-35	MEGA TOP SANDWICH/SALAD PREPARATION REFRIGERATOR	HOSHIZAKI	SR36A-15M	36"W x 35"D x 44.25"H OVERALL	
K-36	WORK TABLE, STAINLESS STEEL TOP	ATOSA USA	SR9W-2460	60"W x 24"D, 34"H 18/430 S.S.	
K-37	WORK TABLE, STAINLESS STEEL TOP	SERV-WARE	T2460CUP-3	60"W x 24"D, 18/304 S.S.	VERIFY SIZE VERIFY SIZE
K-38	SOILED DISH TABLE				
K-39	DISH TABLES				
K-40	ICE CUBER	HOSHIAKI	KM-30MRJ	30"W	
K-41	NOT USED				VERIFY LOCATION VERIFY LOCATION
K-42	HEAT LAMP	HATCO	GRA-48D3		
K-43	HEA LAMP	HATCO	GRA-36D3		
K-44	AIR DOOR	CURTRON	AP-2-36-1-S6	36"W	
K-45	AIR CURTAIN	MARS AIR SYSTEMS	HV236-1UA-TS	36"W	VERIFY LOCATION VERIFY LOCATION
K-46	WIRE SHELVING	NEXEL	9160EP	60"W x 18"D	
K-47	WIRE SHELVING	NEXEL	91836EP	36"W x 18"D	
K-48	NOT USED				
K-49	ICE CUBER	HOSHIAKI	KML-700MRJ	30"W	VERIFY LOCATION VERIFY LOCATION
K-50	GRAH HEAT LAMP	HATCO	AH481201CCS		
K-51	SAMAMANDER BROILER, GAS	IMPERIAL	ISB36	36"	
K-52	STEAMER, CONVECTION, BOILERLESS, COUNTERTOP	CROWN	EPXN-5	(5) 12" x 5" FANS	
K-53	CHEESE MELTER, ELECTRIC	AFW WYOTT	CMP-36	36"	VERIFY LOCATION VERIFY LOCATION
K-54	NOT USED				
K-55	HEAT LAMP	HATCO	GRAPH-36-120-O-QS		
K-56	BOTTLE COOLER	HOSHIAKI	HBC-50	50.5W x 26.5"D x 33.38"H	
K-57	UNDERCOUNTER REFRIGERATOR	HOSHIAKI	UR21A-GLP01	21"W	VERIFY LOCATION VERIFY LOCATION
K-58	UNDERCOUNTER REFRIGERATOR	HOSHIAKI	UR21A-LP	21"W x 31"D	
K-59	GLASS FROSTER	KROUNE METAL	MC48B	48"W x 24"D	
K-60	UNDERCOUNTER REFRIGERATOR	HOSHIAKI	UR48A-GLP01	48"W	
K-61	WINE CELLAR CABINET	EURODIB USA	USF128D		VERIFY LOCATION VERIFY LOCATION
K-62	FOOD SERVICE DOOR	CHASE DOORS	NW 3011 36x84	36" x 84"	
K-63	FOOD SERVICE DOOR	CHASE DOORS	NW 3011 36x84	36" x 84"	
K-64	WALK IN COMBINATION COOLER FREEZER, REMOTE	BAILEY REFRIGERATED BOXES	91902-1-O-LJ1	12' x 6' x 8'-6" H	
K-64	ECOLAB 2000 HT DISH MACHINE WITH VAPOR VENT	ECOLAB	2000 HT W/ VAPOR VENT		

NOTE: - ALL KITCHEN EQUIPMENT TO HAVE STANDARD ATTACHMENTS MIN. U.O.N.
- ALL EQUIPMENT TO BE N.S.F. RATED.
- SUBMIT CUT SHEETS.
* EXHAUST HOOD TO BE RESPONSIBILITY OF MECHANICAL CONTRACTOR NOT THE KITCHEN EQUIPMENT CONTRACTOR. SEE MECHANICAL SHEETS.



- Architectural Design
- Planning
- Interiors



Member of the American Institute of Architects

Lee D. Dixon, Jr., AIA

252-247-2127

lee@coastalarchitecture.net

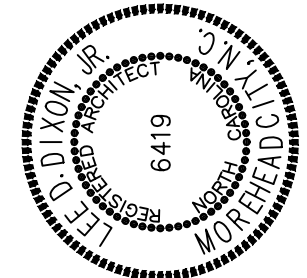
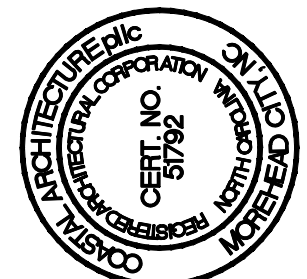
4206 Bridges St. Ext., Suite C

Morehead City, NC 28557

www.CoastalArchitecture.net



ICE HOUSE RESTAURANT
FRONT ST. & MOORE ST.
SWANSBORO, NORTH CAROLINA 28584



KITCHEN EQUIPMENT

18050

ISSUED: 11/15/19

DWG BY: BLS

CKD BY: LDD

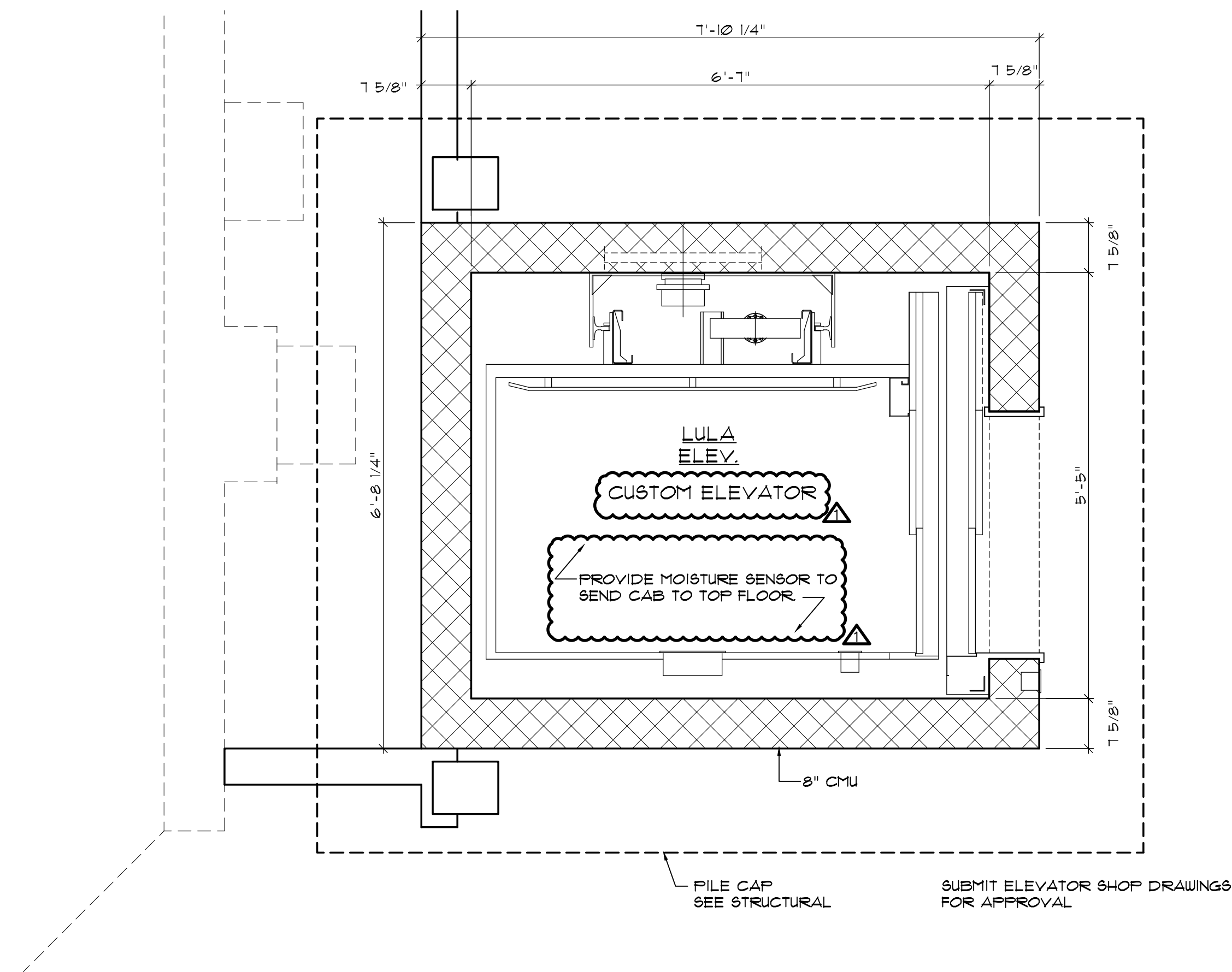
REVISIONS

1 01/10/20

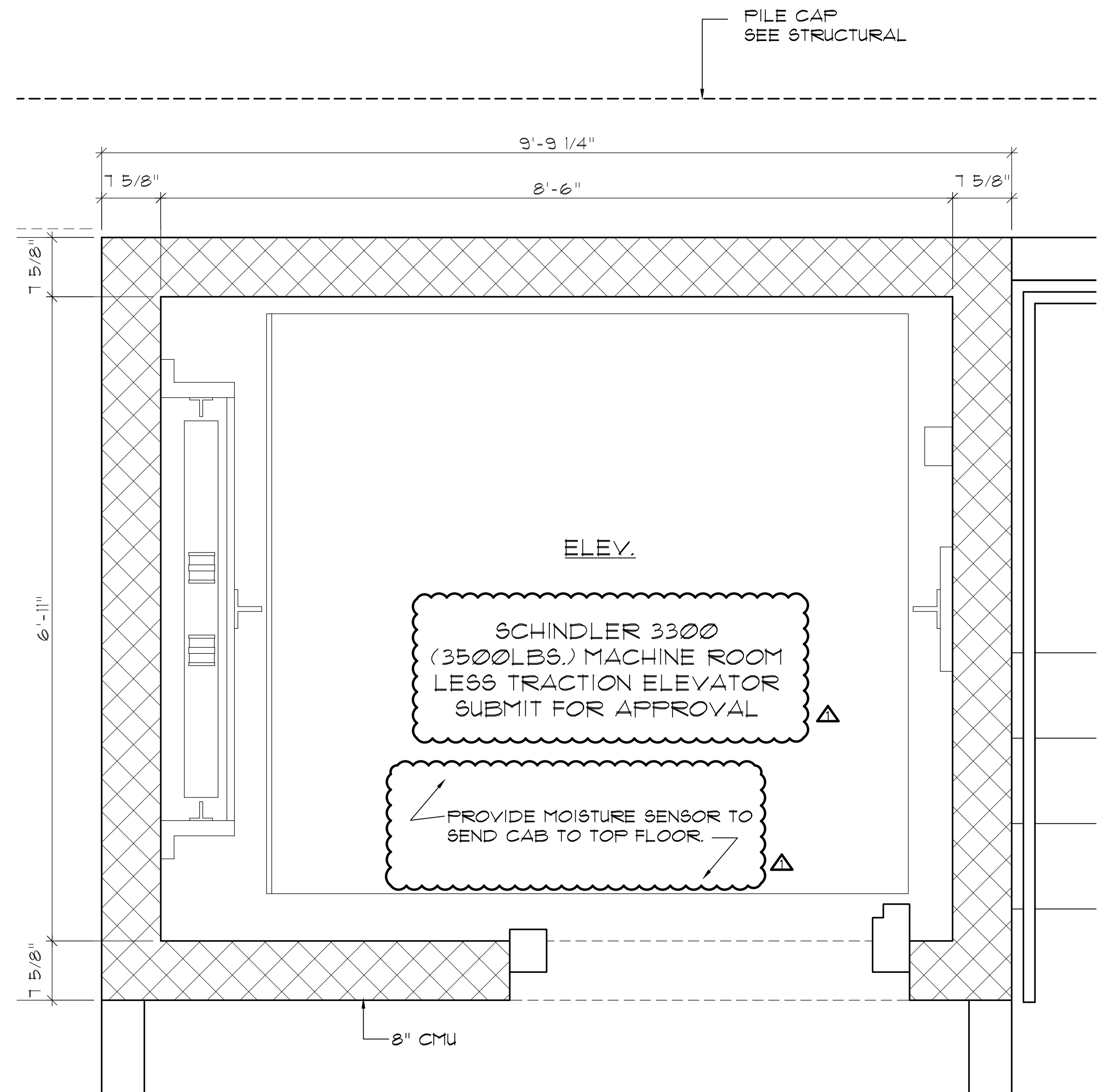
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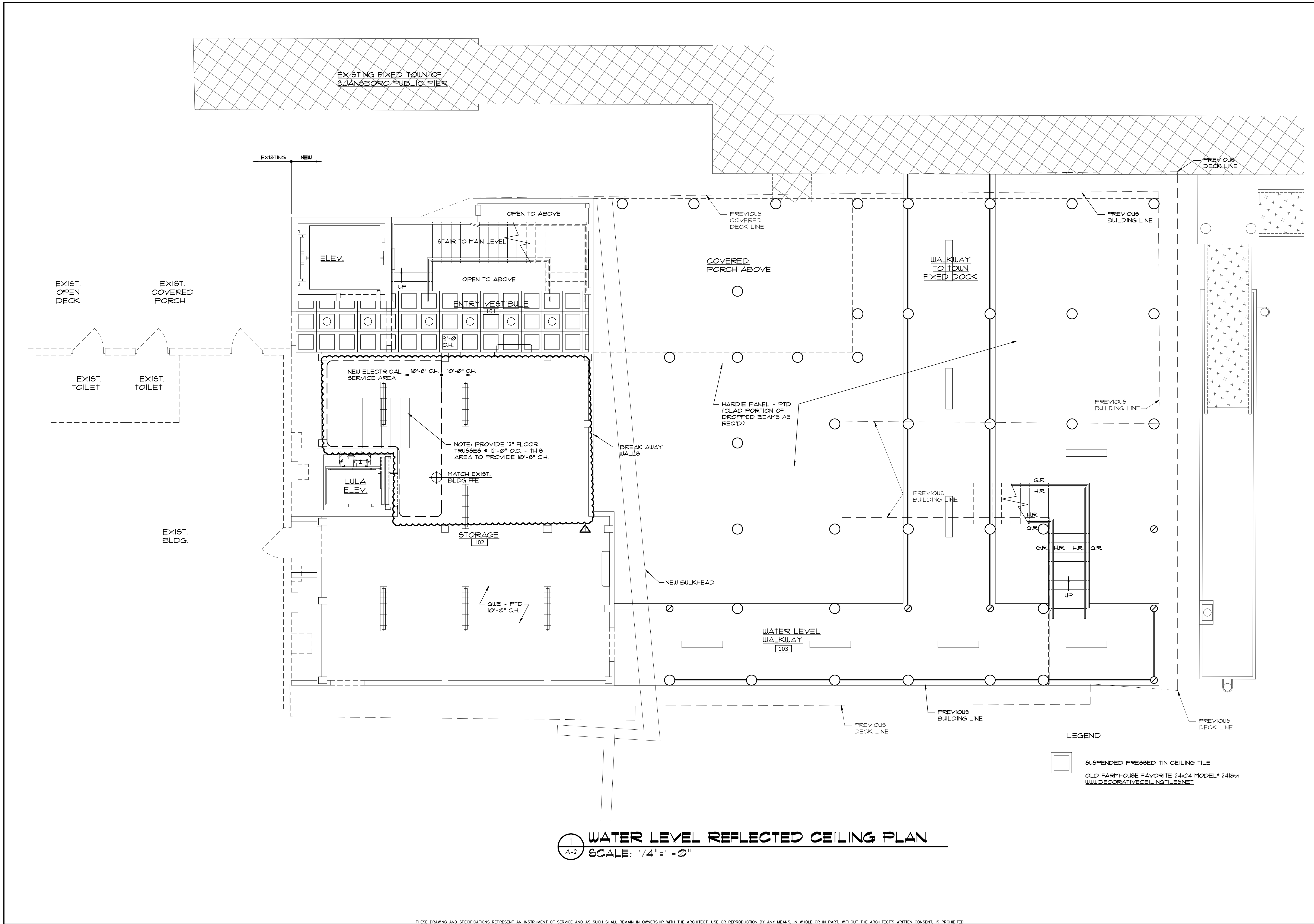
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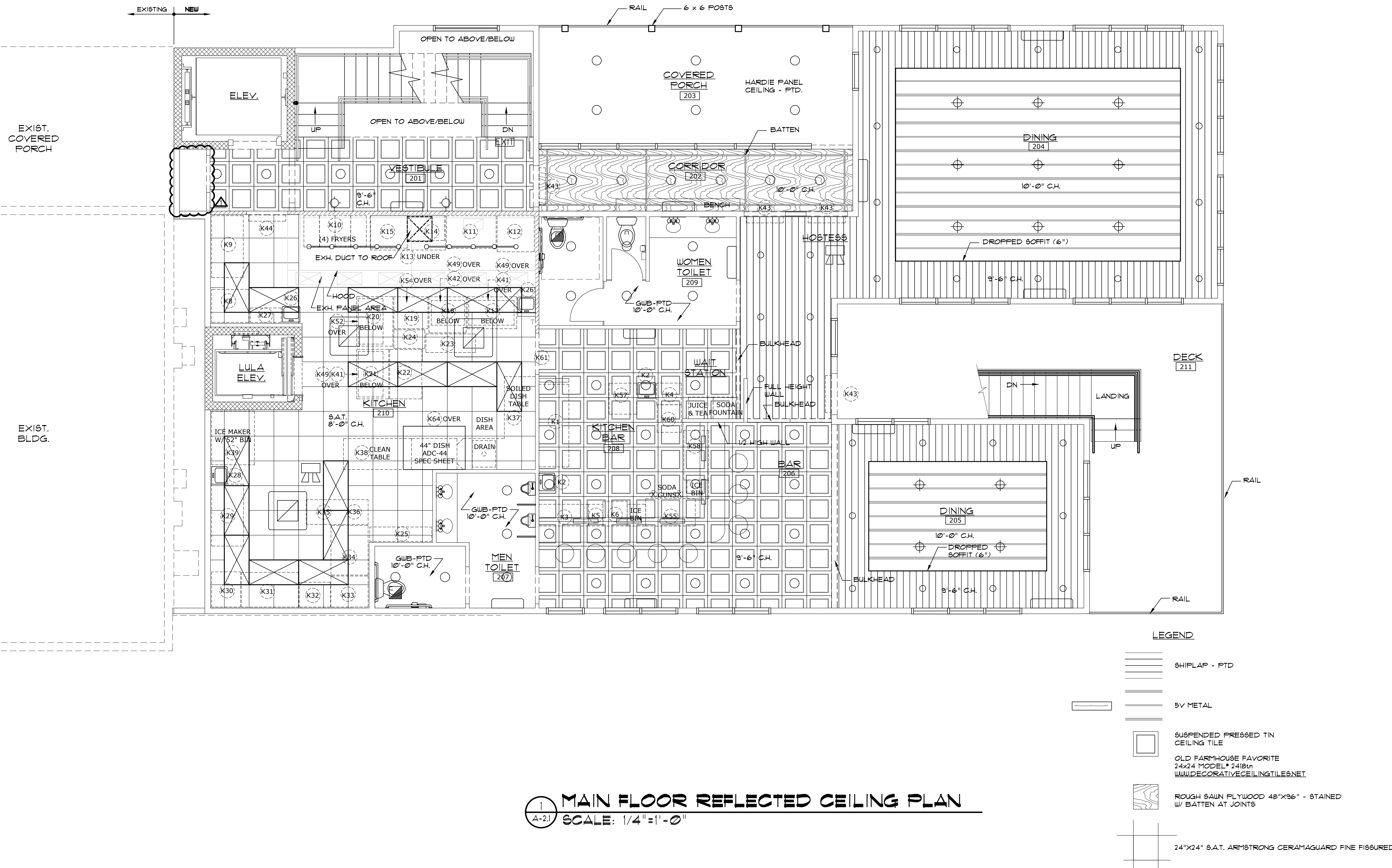


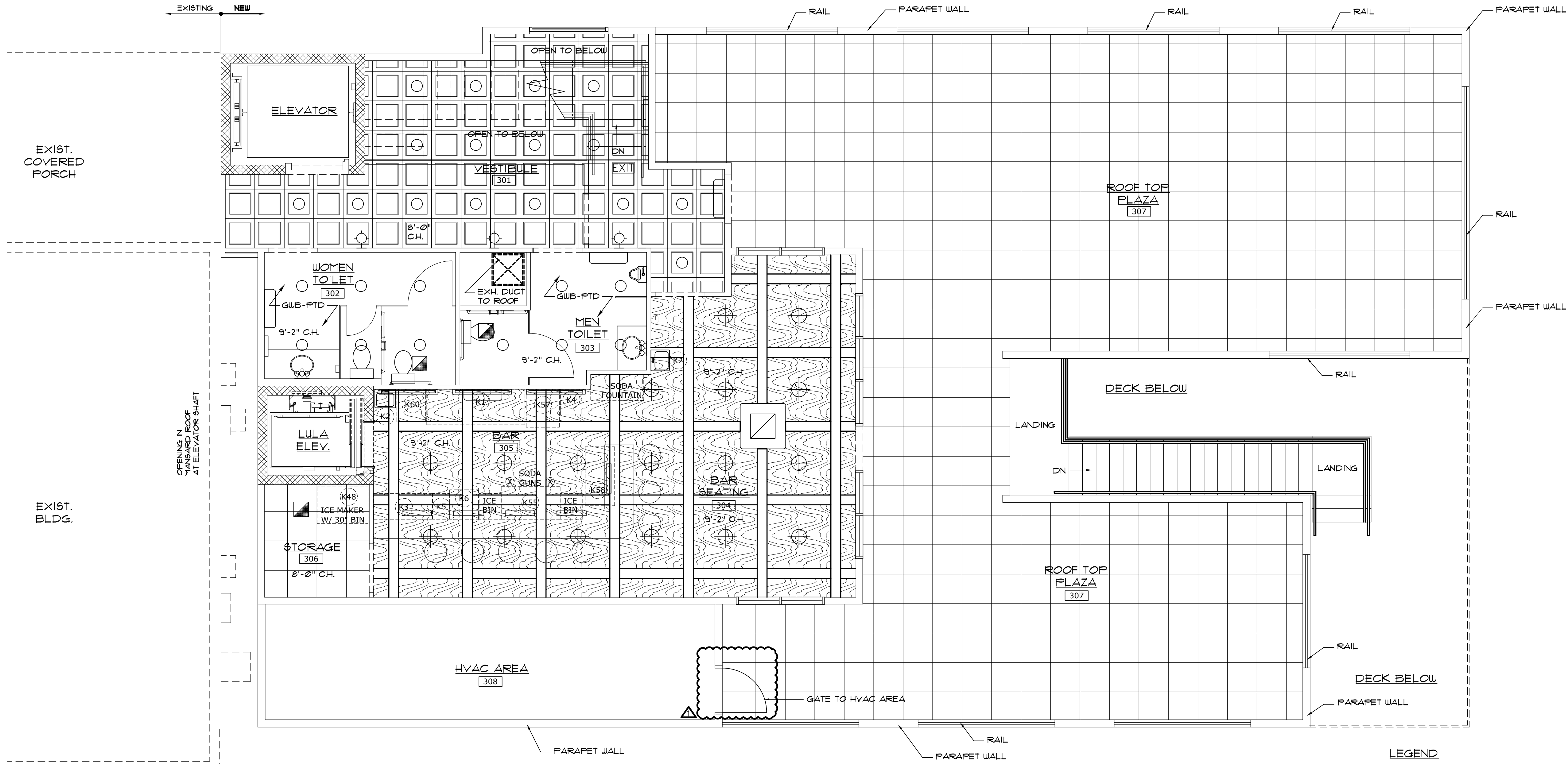
1 ELEVATOR PLAN DETAIL
 SCALE: 3/4" = 1'-0"



2 ELEVATOR PLAN DETAIL
 SCALE: 3/4" = 1'-0"







- LEGEND
- PRESSED TIN CEILING TILE
(SURFACE MOUNT THIS FLOOR ONLY)
 - OLD FARMHOUSE FAVORITE 24x24
MODEL # 2418tn
WWW.DECORATIVECEILINGTILES.NET
 - ROUGH SAWN PLYWOOD 48"x96" - STAINED
W/ BATTEN AT JOINTS
 - FAUX 8"x8" WOOD BEAM @ 5'-0" O.C. -
REFER TO DETAIL ON 2/A-5
 - 24"x24" S.A.T. ARMSTRONG CERAMAGUARD FINE FIGURED

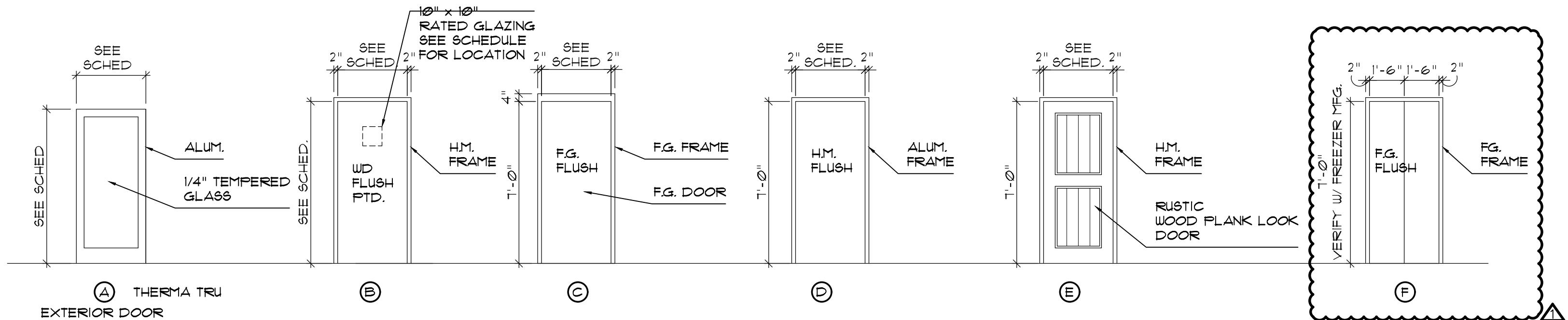
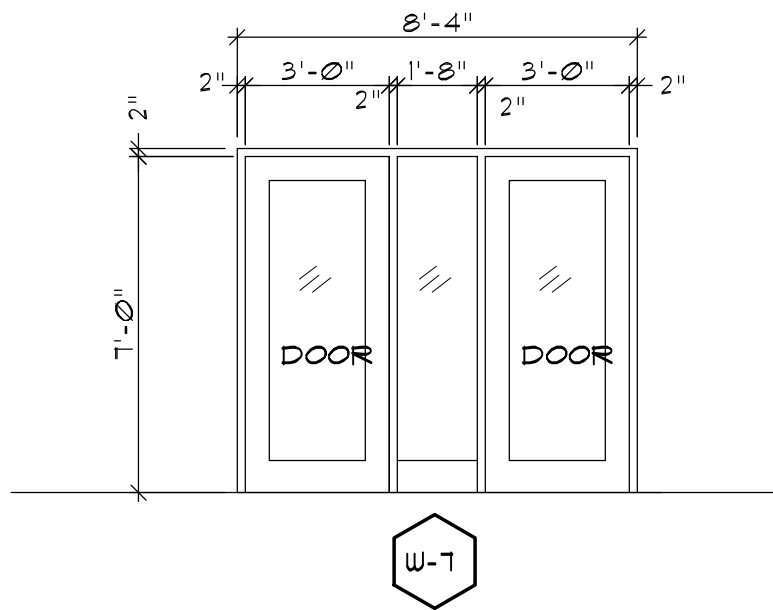
1
A-12
ROOF PLAZA REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE						
DOOR NO.	SIZE	DOOR		FRAME		REMARKS
		MAT.	TYPE	MAT.	TYPE	
100A	3'-0" X 1'-0"	FG	A	FG		①②④
101A	3'-0" X 1'-0"	WD	B	HM		①②③⑥⑨
102A	3'-0" X 1'-0"	WD	B	HM		①②③
102B	3'-0" X 1'-0"	FG	C	FG		②
102C	3'-0" X 1'-0"	HM	D	HM		①②⑤
102D	3'-0" X 1'-0"	FG	C	FG		①②③
201A	3'-0" X 1'-0"	WD	B	HM		①②③⑥⑨
2011A	3'-0" X 1'-0"	WD	B	HM		①②③④⑥
202A	3'-0" X 1'-0"	FG	A	FG		①②④
204.1A	3'-0" X 1'-0"	FG	A	FG		①②④
204.1B	3'-0" X 1'-0"	FG	A	FG		②④
206A	3'-0" X 1'-0"	FG	A	FG		①②④
2071A	3'-0" X 1'-0"	WD	E	HM		②⑦⑧
2071.1A	3'-0" X 1'-0"	WD	E	HM		
209A	3'-0" X 1'-0"	WD	E	HM		②⑦⑧ CLOSER ON 209A ONLY
209B	3'-0" X 1'-0"	WD	E	HM		②⑦⑧
209C	2'-6" X 1'-0"	WD	E	HM		
210A	3'-0" X 1'-0"	WD		WD		②③⑥
210B						SEE KITCHEN EQUIPMENT SCHEDULE
3012A	3'-0" X 1'-0"	HM	D	HM		③
301A	3'-0" X 1'-0"	WD	B	HM		①②③⑥⑨
301.1A	3'-0" X 1'-0"	FG	A	FG		①②④
302A	3'-0" X 1'-0"	WD	B	HM		②③
303A	3'-0" X 1'-0"	WD	B	HM		②③
304A	3'-0" X 1'-0"	FG	A	WD		①②④
306A	3'-0" X 1'-0"	WD	B	WD		
308A	(2) 1'-6" X 1'-0"	FG	F	FG		

- ① PANIC HARDWARE
② CLOSER
③ 60 MINUTE RATED
④ ADA THRESHOLD
⑤ 90 MINUTE RATED
⑥ 10" X 10" RATED GLAZING
⑦ PUSH PULL
⑧ KICK PLATE
⑨ SMOKE ACTIVATED HOLD OPEN DEVICE

WINDOW SCHEDULE				
MARK	TYPE	SIZE (NOMINAL)	MODEL	REMARKS
W-1	SEE ELEVATION	3'-0"W X 6'-0"H	SIMONTON STORM BREAKER PLUS COASTAL IMPACT	MEET REQ'D WIND LOAD
W-2	SEE ELEVATION	6'-0"W X 6'-0"H		MEET REQ'D WIND LOAD
W-3	SEE ELEVATION	9'-0"W X 6'-0"H		MEET REQ'D WIND LOAD
W-4	SEE ELEVATION	25'-4"W X 6'-0"H		MEET REQ'D WIND LOAD
W-5	SEE ELEVATION	18'-0"W X 6'-0"H		MEET REQ'D WIND LOAD
W-6	SEE ELEVATION	5'-0" DIAMETER		MEET REQ'D WIND LOAD
W-7	SEE ELEVATION	8'-4"W X 8'-0"H		MEET REQ'D WIND LOAD
W-8	SEE ELEVATION	5'-0"W X 8'-0"H		MEET REQ'D WIND LOAD

COLOR: WHITE LOW E SOLAR GLAZING GREY TINT

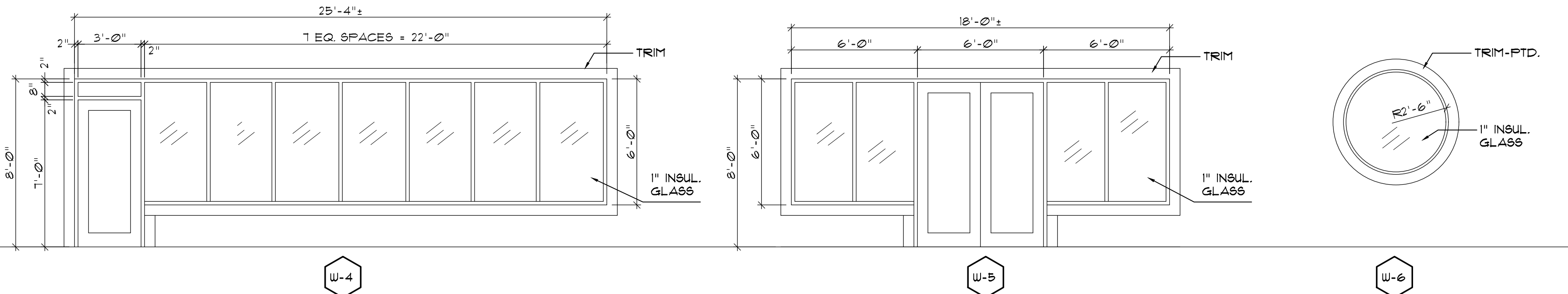
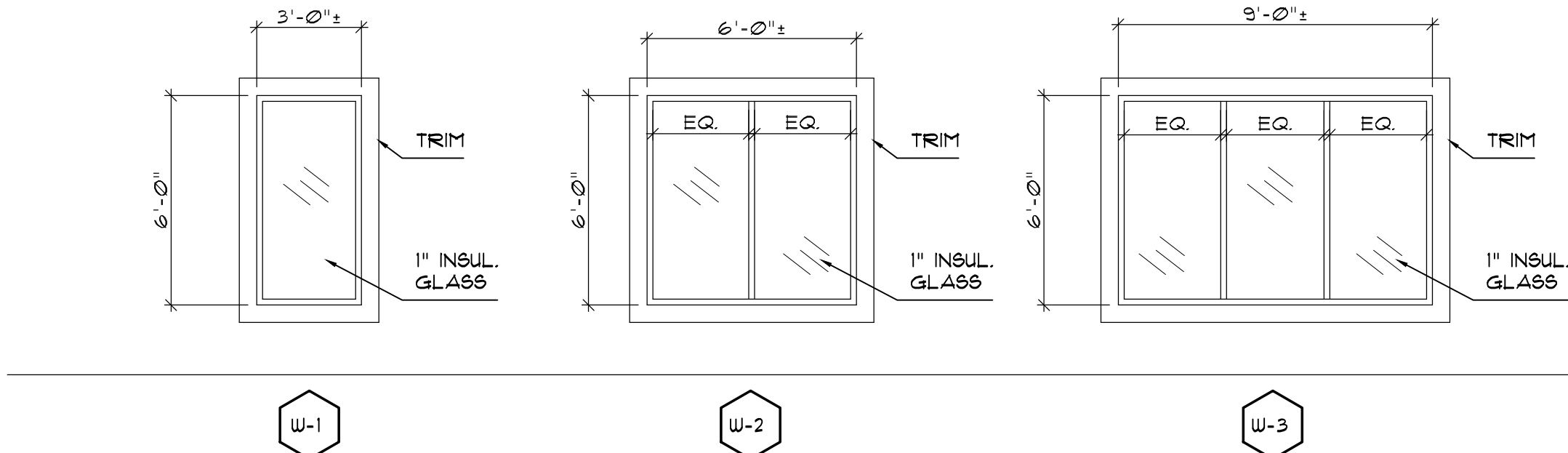


2 A-3 INTERIOR WINDOW ELEVATION

SCALE: 1/4" = 1'-0"

3 A-3 DOOR ELEVATIONS

SCALE: 1/4" = 1'-0"



1 A-3 EXTERIOR WINDOW ELEVATIONS

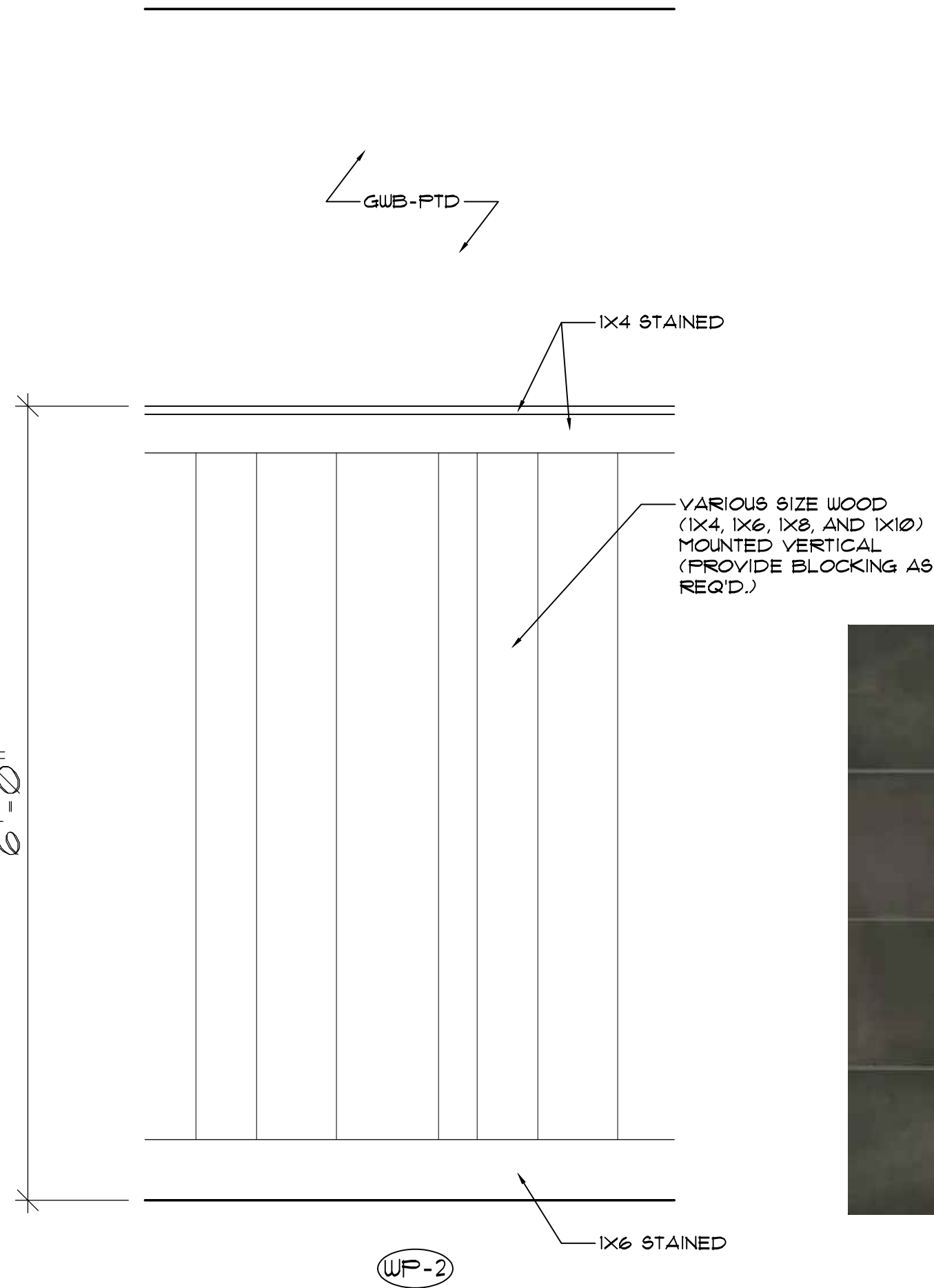
SCALE: 1/4" = 1'-0"

ALL FRAME COLORS TO BE WHITE

ROOM FINISH SCHEDULE							
ROOM NUMBERS	ROOM	FLOORS	BASE	WALLS	CEILING	HEIGHT (NOMINAL)	REMARKS
100	ENTRY	PORCELAIN TILE	WOOD	SEE SHEET F-1	PRESSED TIN	9'-0"	SEE SHEET A-2 FOR CEILING LAYOUT
101	VESTIBULE	PORCELAIN TILE	WOOD	SEE SHET F-1	PRESSED TIN	9'-0"	SEE SHEET A-2 FOR CEILING LAYOUT
102	STORAGE	SEALED CONC.	VINYL	GWB-PTD	GWB-PTD	10'-0"	SEE SHEET A-2 FOR CEILING LAYOUT
103	WATER LEVEL WALKWAY	TRTD WD FLANKS	-	-	HARDIE FNL-PTD	10'-0"	
201	VESTIBULE	CERAMIC TILE	WOOD	SEE SHEET F-1.1	PRESSED TIN	9'-6"	SEE SHEET A-2.1 FOR CEILING LAYOUT
202	CORRIDOR	LVP	-	SEE SHEET F-1.1	ROUGH SAUN FLYWOOD	10'-0"	SEE SHEET A-2.1 FOR CEILING LAYOUT
203	COVERED PORCH	TREX DECKING	-	EXT. SIDING	HARDIE FNL - PTD	10'-0"	
204	DINING	LVP	WOOD	SEE SHEET F-1.1	SHIPLAP 4 BY METAL	10'-0"/9'-6"	SEE SHEET A-2.1 FOR CEILING LAYOUT
205	DINING	LVP	WOOD	SEE SHEET F-1.1	SHIPLAP 4 BY METAL	10'-0"/9'-6"	SEE SHEET A-2.1 FOR CEILING LAYOUT
206	BAR	LVP	WOOD	SEE SHEET F-1.1	PRESSED TIN	9'-6"	SEE SHEET A-2.1 FOR CEILING LAYOUT
207	MEN TOILET	PORCELAIN TILE	TILE	TILE	GWB-PTD	10'-0"	SEE SHEET A-2.1 FOR CEILING LAYOUT
208	KITCHEN BAR	SAFETY FLOORING	-	SEE SHEET F-1.1	PRESSED TIN	9'-6"	SEE SHEET A-2.1 FOR CEILING LAYOUT
209	WOMEN TOILET	PORCELAIN TILE	TILE	TILE	GWB-PTD	10'-0"	SEE SHEET A-2.1 FOR CEILING LAYOUT
210	KITCHEN	SAFETY FLOORING	-	FRP	S.A.T.	8'-0"	SEE SHEET A-2.1 FOR CEILING LAYOUT
211	OPEN PORCH	TREX DECKING	-	-	HARDIE FNL - PTD	-	
2011	STAIR	CERAMIC TILE	WOOD	SEE SHEET F-1.1	PRESSED TIN	9'-6"	SEE SHEET A-2.1 FOR CEILING LAYOUT
2012	LULA EQUIPMENT ROOM	CERAMIC TILE	GWB-PTD	GWB-PTD	GWB-PTD	9'-6"	
301	VESTIBULE	WOOD	WOOD	SEE SHEET F-1.2	PRESSED TIN	8'-0"	SEE SHEET A-2.2 FOR CEILING LAYOUT
302	WOMEN TOILET	PORCELAIN TILE	TILE	TILE	GWB-PTD	9'-2"	SEE SHEET A-2.2 FOR CEILING LAYOUT
303	MEN TOILET	PORCELAIN TILE	TILE	TILE	GWB-PTD	9'-2"	SEE SHEET A-2.2 FOR CEILING LAYOUT
304	BAR SEATING	LVP	WOOD	SEE SHEET F-1.2	ROUGH SAUN FLYWOOD W/FAUX 8X8 BEAM	9'-2"	SEE SHEET A-2.2 FOR CEILING LAYOUT
305	BAR	SAFETY FLOORING	-	SEE SHEET F-1.2	ROUGH SAUN FLYWOOD W/FAUX 8X8 BEAM	9'-2"	SEE SHEET A-2.2 FOR CEILING LAYOUT
306	STORAGE	SAFETY FLOORING	-	SEE SHEET F-1.2	S.A.T.	8'-0"	SEE SHEET A-2.2 FOR CEILING LAYOUT
307	ROOF TOP PLAZA	2' X 2' ROOF PATIO TILES	-	-	-	-	
3011	STAIR	RUBBER TREADS/RISERS	WOOD	SEE SHEET F-1.2	PRESSED TIN	8'-0"	SEE SHEET A-2.2 FOR CEILING LAYOUT

NOTE: INTERIOR STAIRS TO HAVE RUBBER TREADS/RISERS

FINISHES SCHEDULE				
MARK	TYPE	SIZE (NOMINAL)	MODEL	REMARKS
CT-1	CERAMIC TILE	6" X 24"	SEE INFO. ON THIS SHEET BELOW	
PT-1	PORCELAIN TILE	3" X 21"		
PT-2	PORCELAIN TILE	12" X 24"		
PT-3	PORCELAIN TILE	12" X 24"		
LVP	LUXURY VINYL PLANK	6" X 48"		
SF-1	SAFETY FLOORING	-		
WD-1	TONGUE AND GROOVE FINE WOOD FLOOR, CLEAR POLYURETHANE FINISH WITH EXPOSED SQUARE-CUT NAILS	RANDOM WIDTHS AND RANDOM LENGTHS		
GWB	GYPSUM WALLBOARD	-		
WP-1	1X10 WOOD PLANKS MOUNTED HORIZONTAL	1X10		
WP-2	6'-0" WOOD PLANK WAINSCOTING MOUNTED VERTICAL W/ GUB-PTD ABOVE	VARIOUS SIZES (1X4, 1X6, 1X8, 1X10)		
BB-1	ROUGH SAUN BOARD AND BATTEN HUNG VERTICAL. BATTENS PLACED 1'-0" O.C. (STAINED W/ PROTECTIVE POLYURETHANE COATING)	-		
SUT	4"X6" WHITE SUBWAY TILE W/ BLACK GROUT	-		
FRP	WHITE FIBERGLASS REINFORCED PANELS	-		
CM-1	CORRUGATED METAL HUNG VERTICAL FROM FLOOR TO CEILING	-		
M-1	FLAT SEAM GALV. METAL ROOFING FROM FLOOR TO CEILING	VARIOUS SIZES		



BEDROSIANS TILE & STONE
CHATEAU 12"X24" PORCELAIN TILE
COLOR: TOBACCO, *. DOLCHATOB1224
(WITH BULLNOSE TO MATCH)



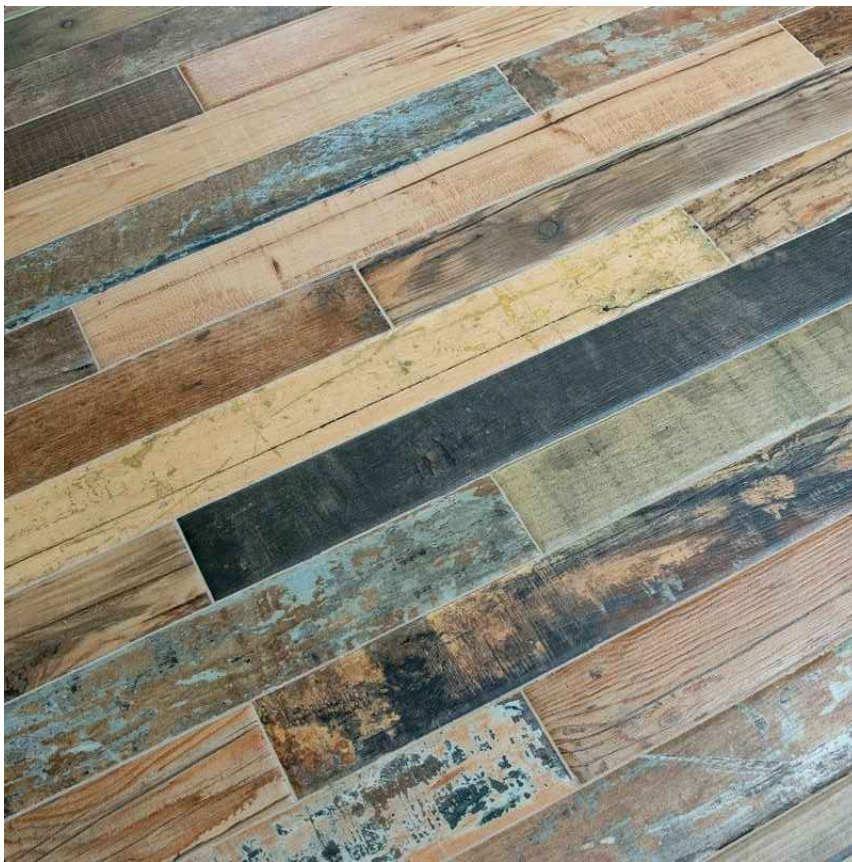
BEDROSIANS TILE & STONE
CHATEAU 12"X24" PORCELAIN TILE
COLOR: SMOKE, *. DOLCHA8MO1224



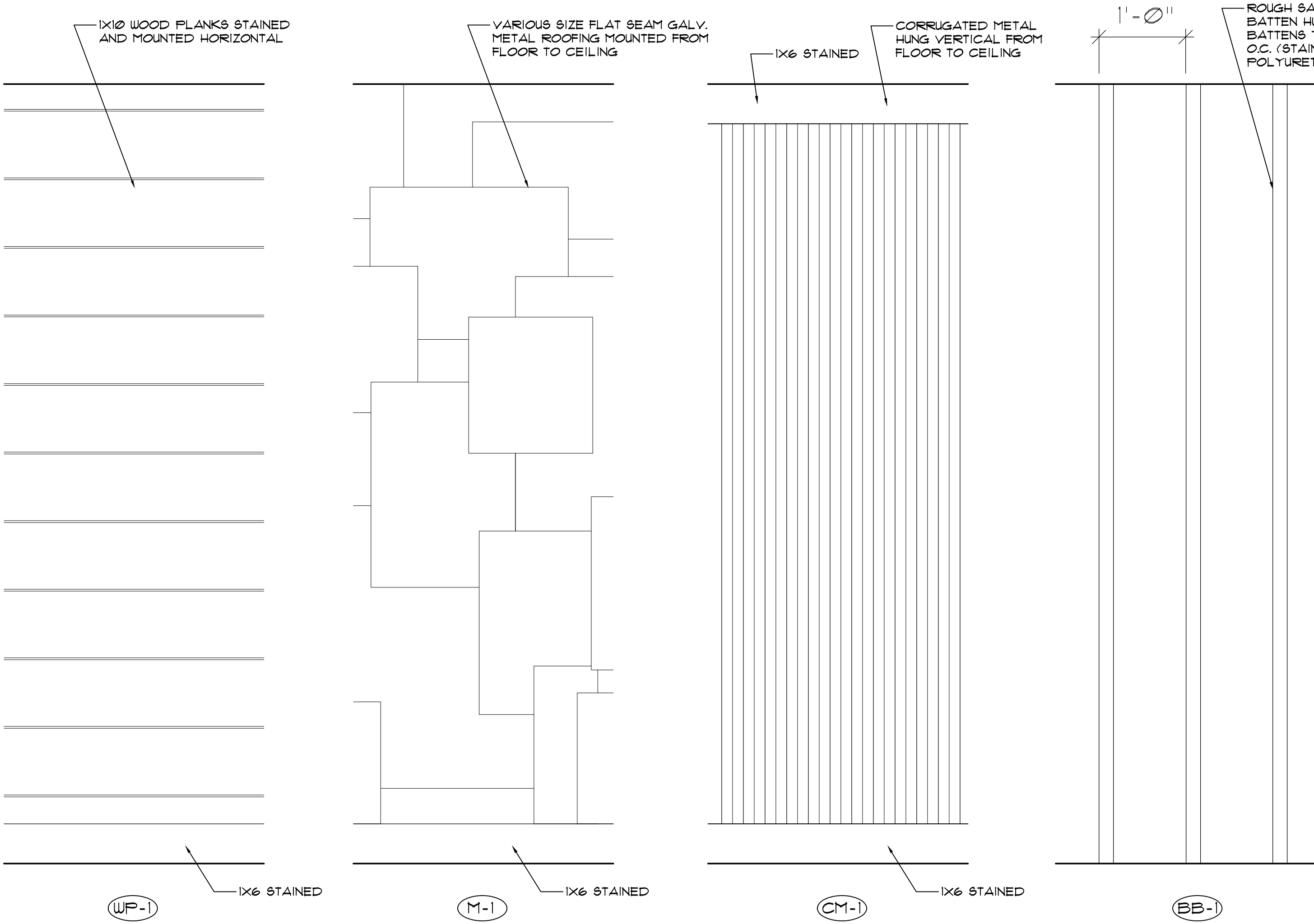
SHAW FLOORING
FLOORTE PREMIO 0409V PLUS PLAN
549 SIENA 6"X48" RECLAIMED LUXURY VINYL
PLANK, 2490V-00549

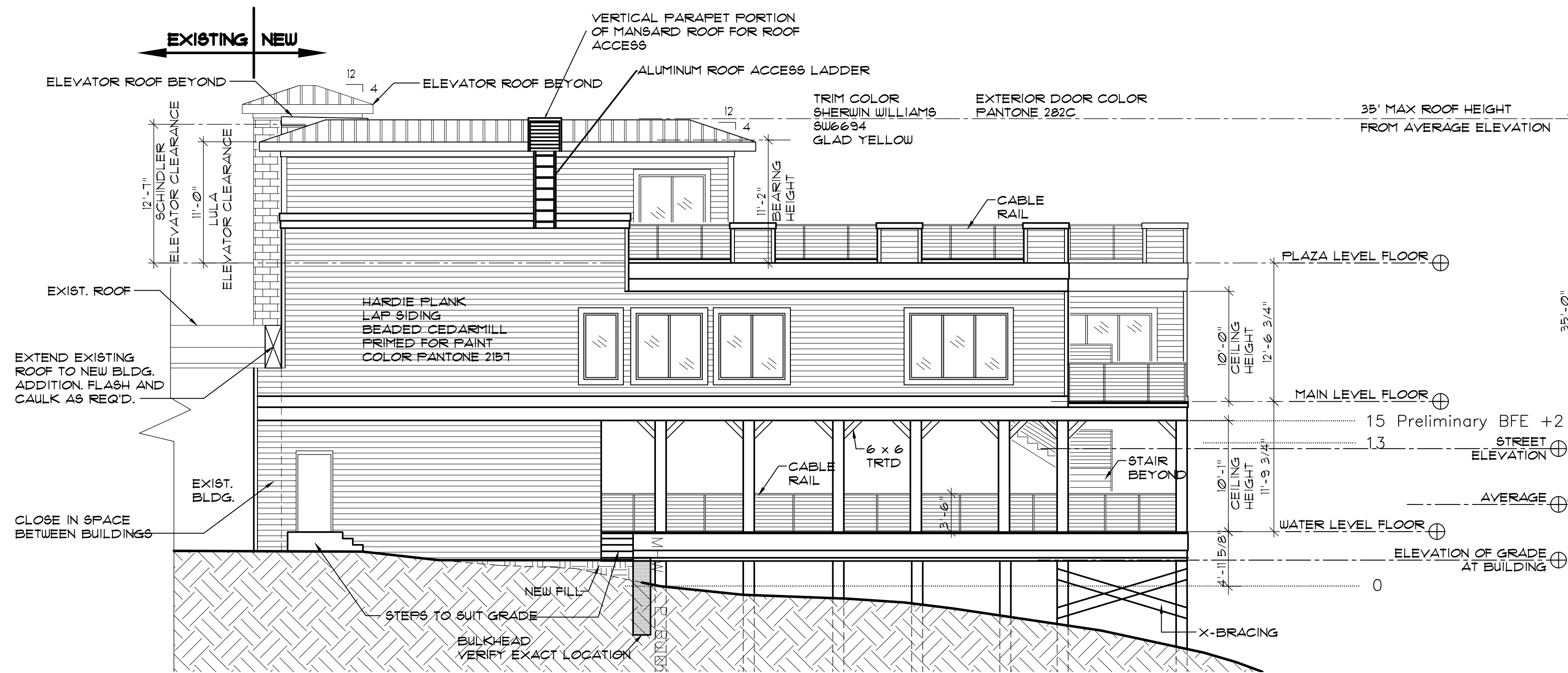


JOSE & MAIN
CERAMIC WAVE WOOD LOOK TILE
ROU9SE 6"X24", EML2896

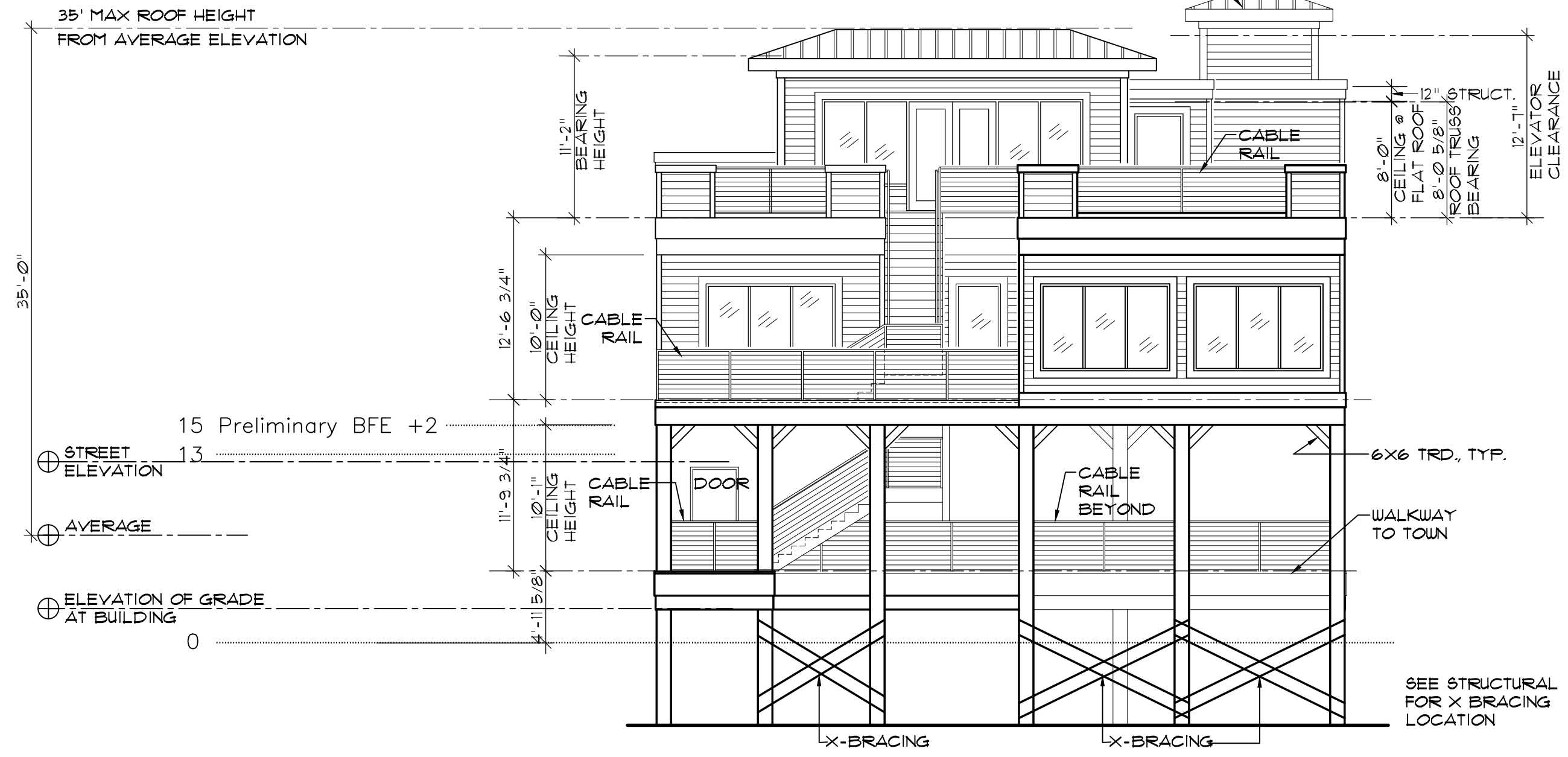


JOSE & MAIN
PORCELAIN WOOD LOOK TILE
ZARA 3"X21", EML3435

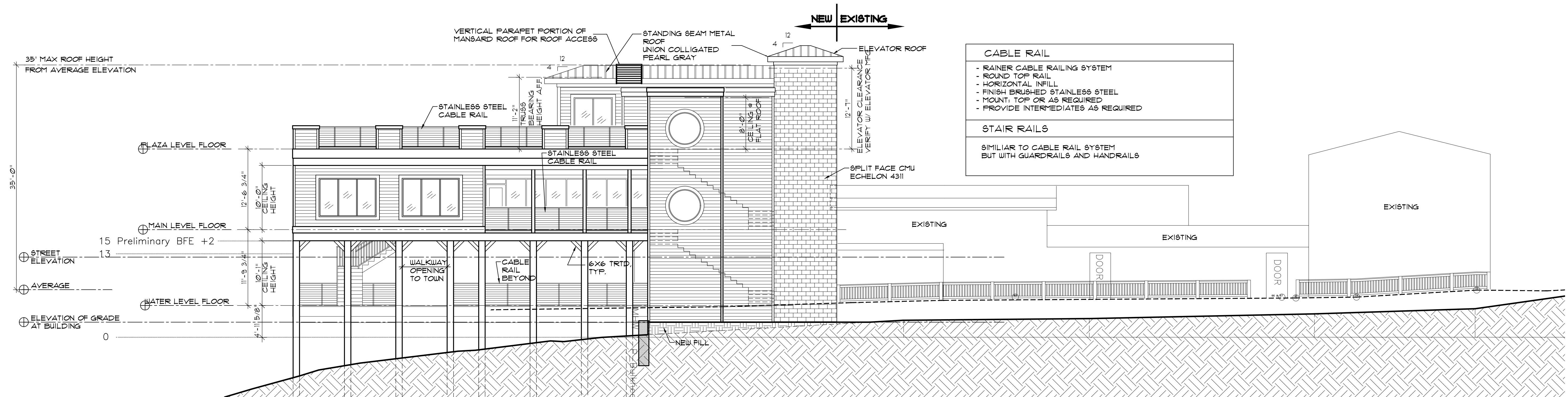




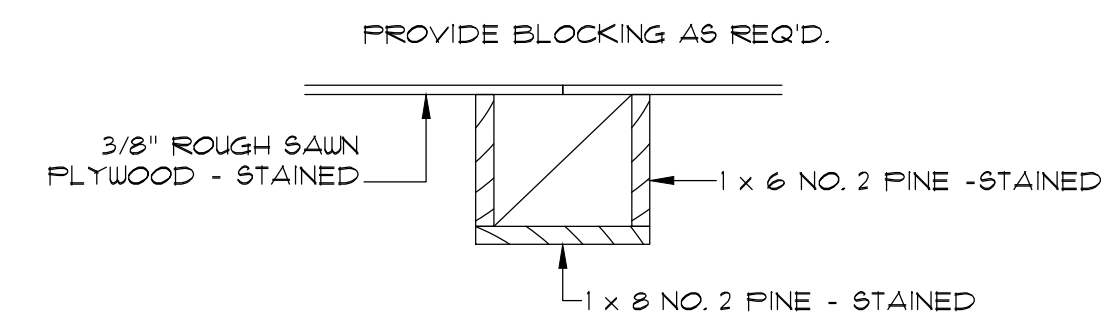
3 WEST ELEVATION
A-4 SCALE: 1/8"=1'-0"



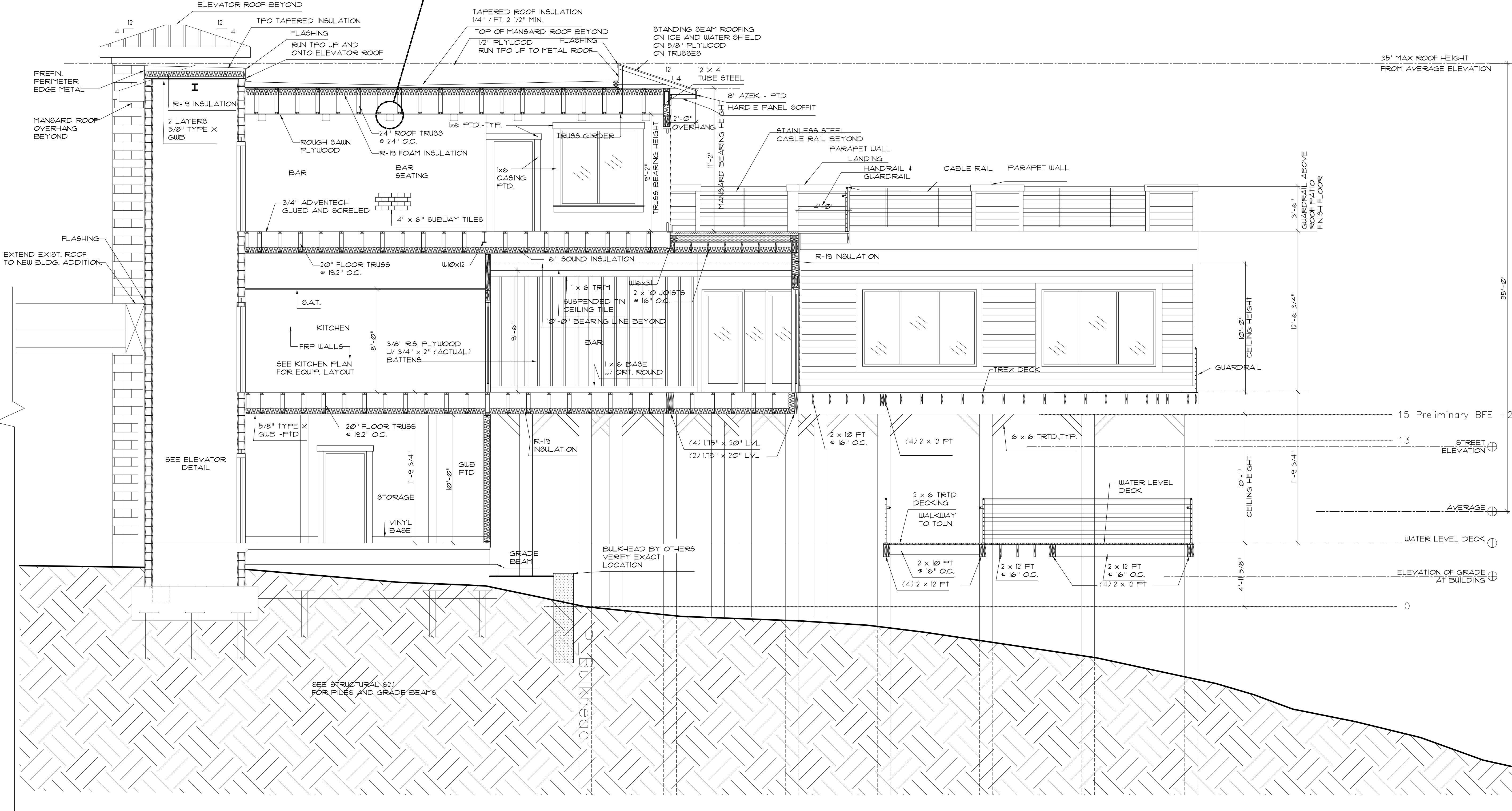
2 SOUTH ELEVATION
A-4 SCALE: 1/8"=1'-0"



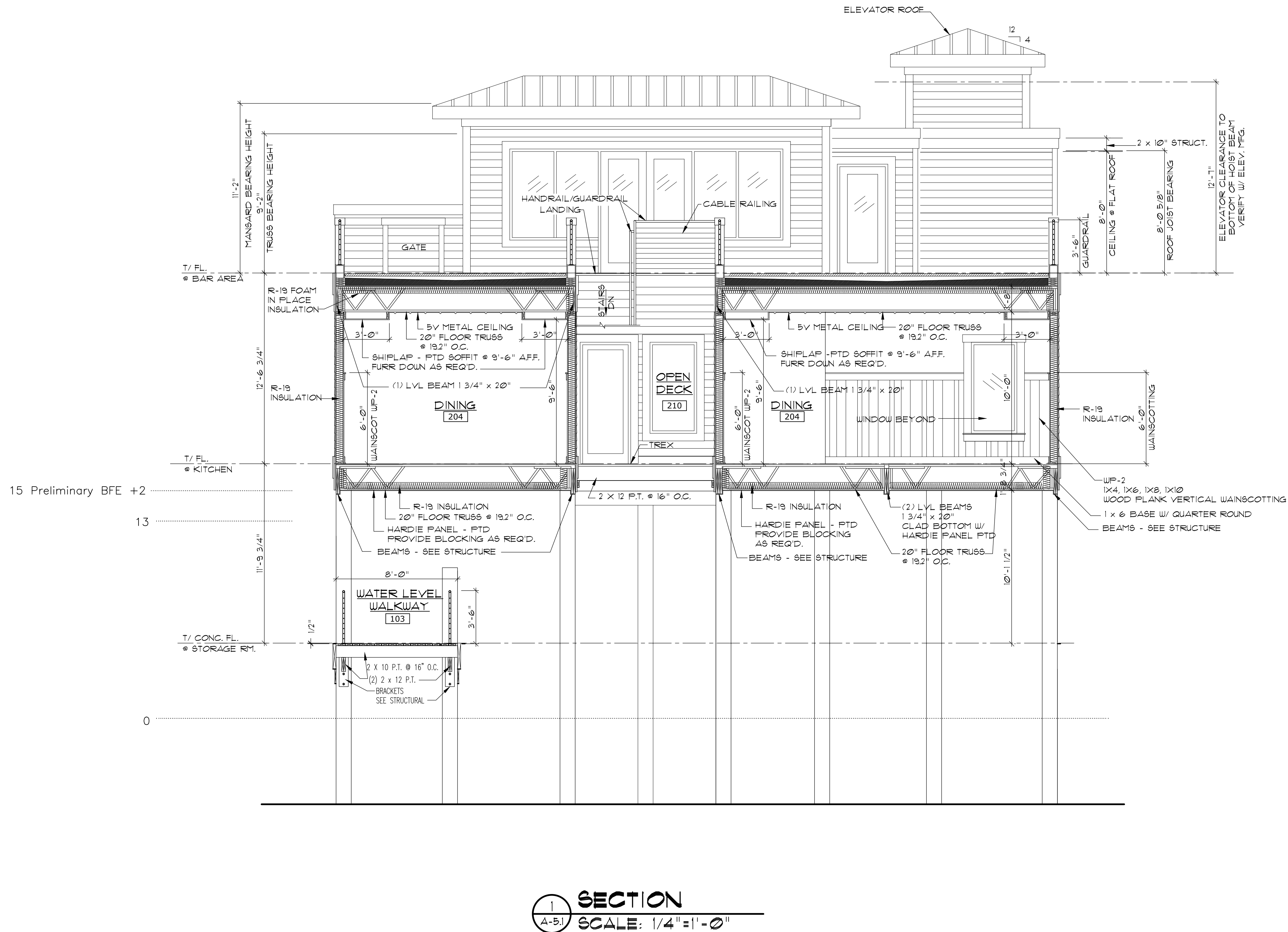
1 EAST ELEVATION
A-4 SCALE: 1/8"=1'-0"

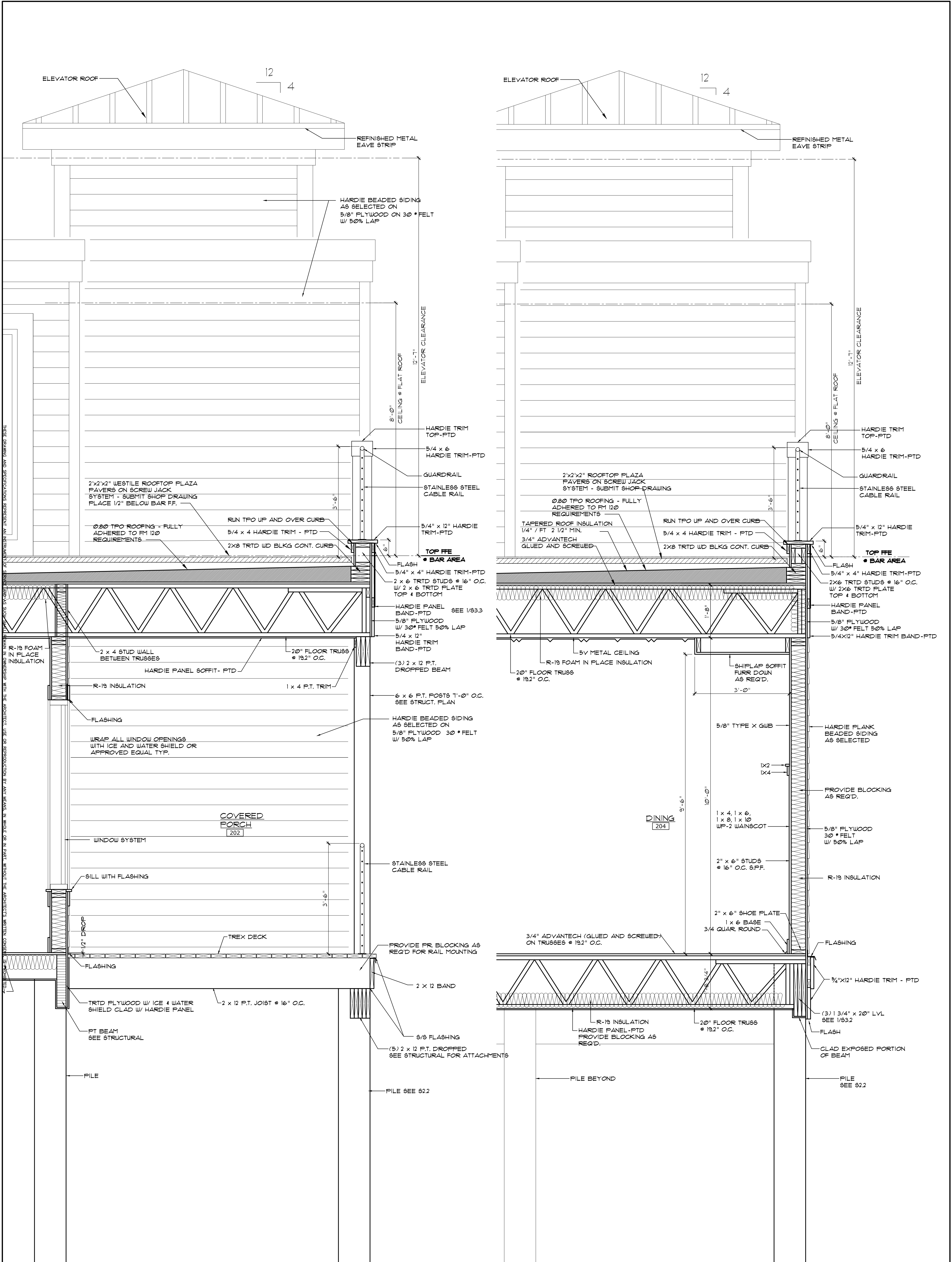


2 BEAM DETAIL
SCALE: 1/2" = 1'-0"



1 SECTION
SCALE: 1/4\"/>



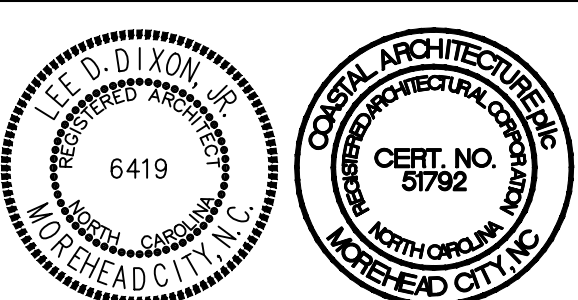


2 WALL SECTION
A-5.2 SCALE: 3/4" = 1'-0"

1 WALL SECTION
A-5.2 SCALE: 3/4" = 1'-0"

A-5.2
OF

SHEET NO.	18050
ISSUED: 11/15/19	
DWG BY: BLS	
CAD BY: LDD	
REVISIONS	



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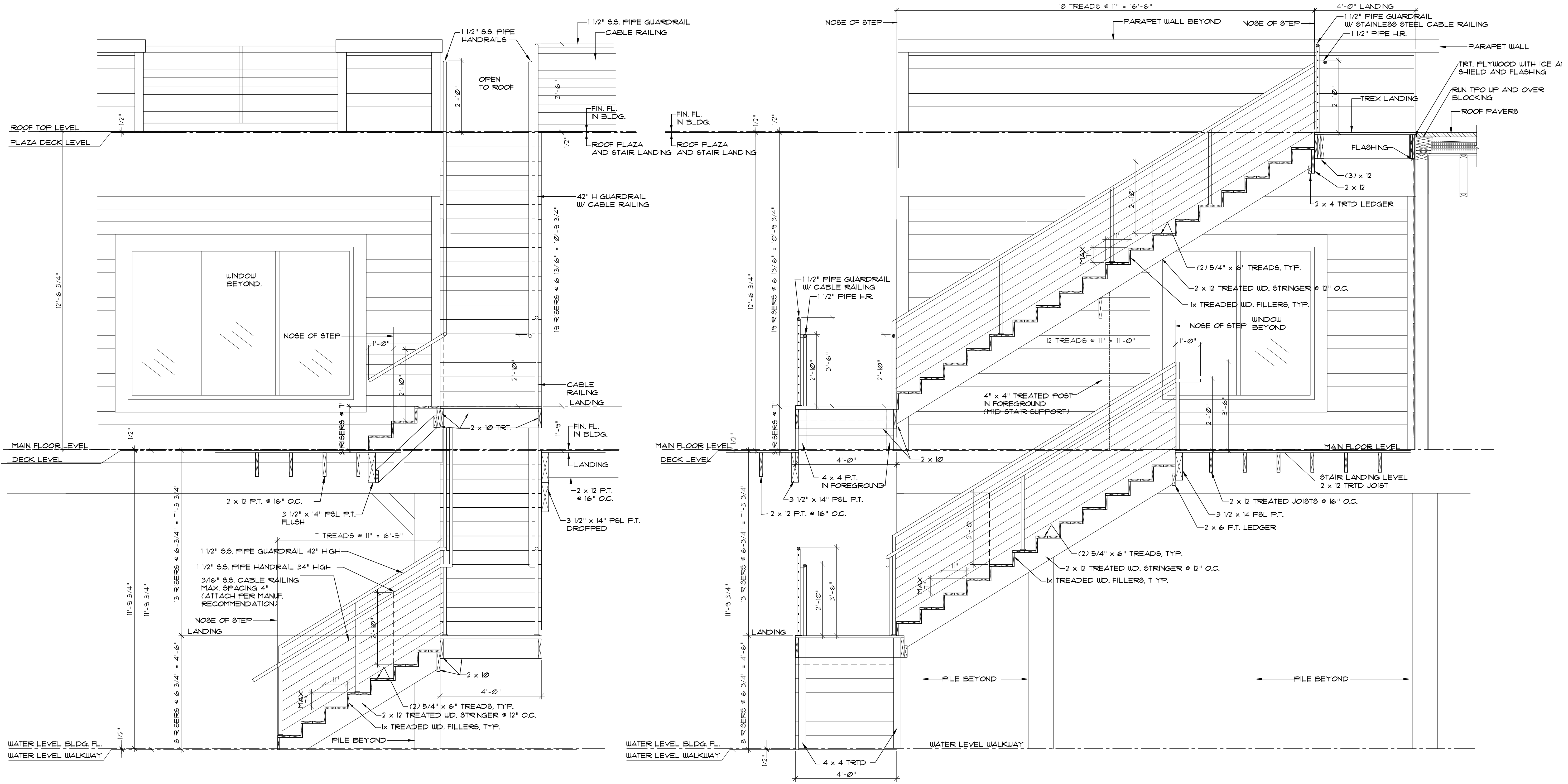


Lee S. Dixon, Jr., AIA
Member of the American
Institute of Architects
4206 Bridges St., Ext.
Suite C
Morrisville, NC
27557



- Architectural Design
- Planning
- Interiors





2 STAIR SECTION
SCALE: 1/2" = 1'-0"

1 STAIR SECTION
SCALE: 1/2" = 1'-0"

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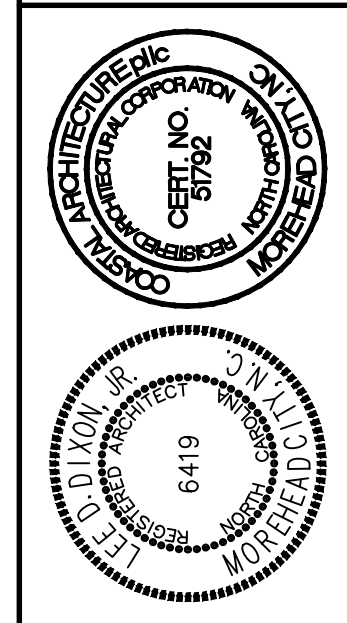
AIA
Member of the American Institute of Architects

Lee D. Dixon, Jr., AIA
252-247-2127
lee@coastalarchitecture.net

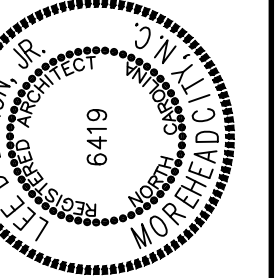
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OF	



AIR SECTIONS

8050

ED: 11/15/19

BY: BLS

DISCUSSION

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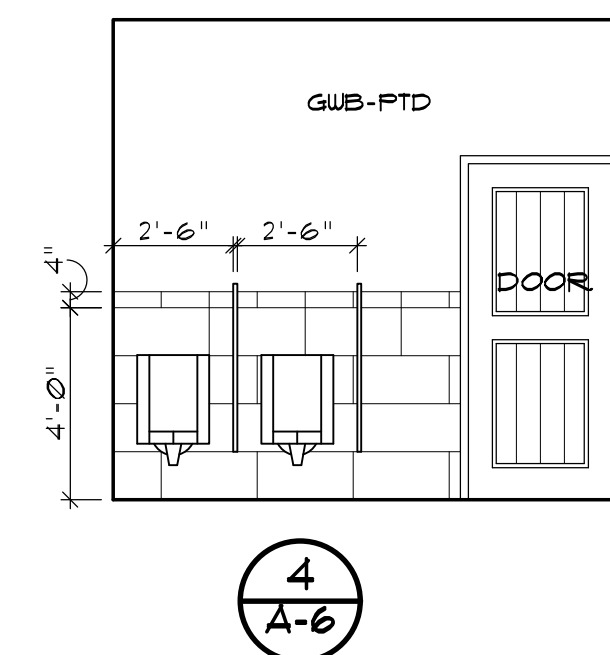
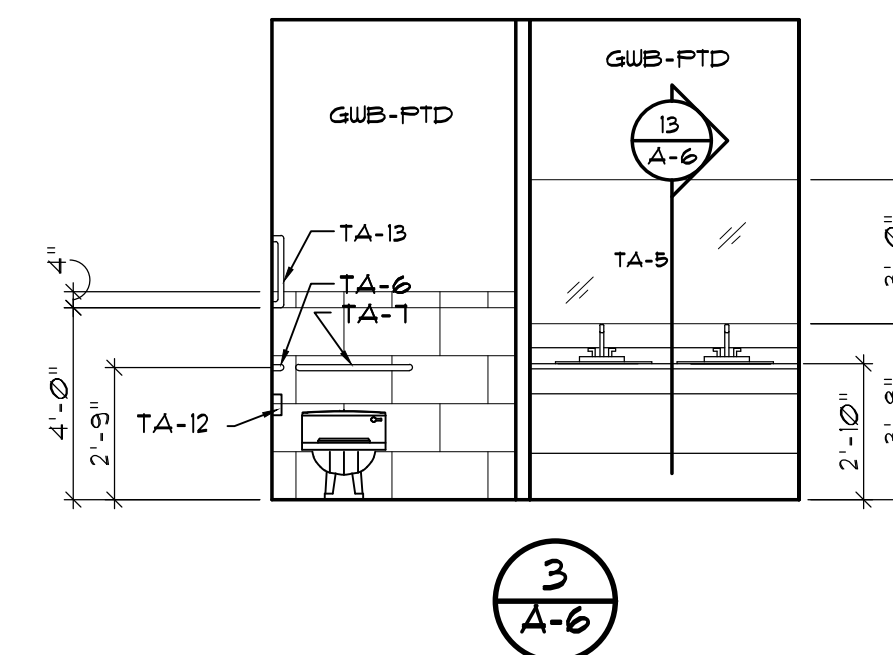
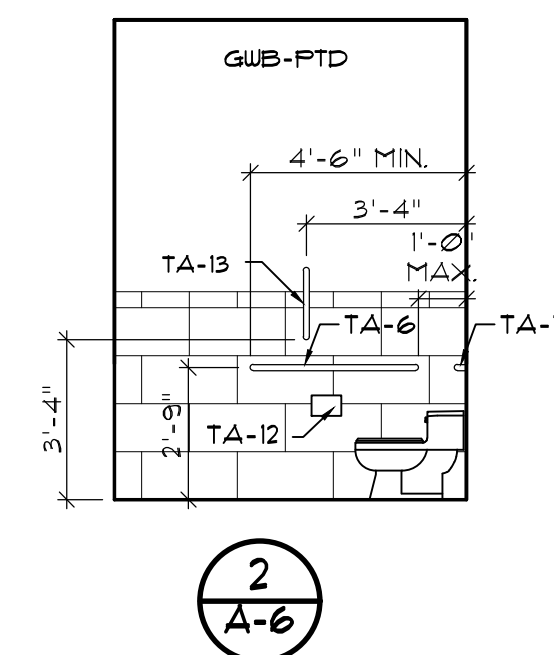
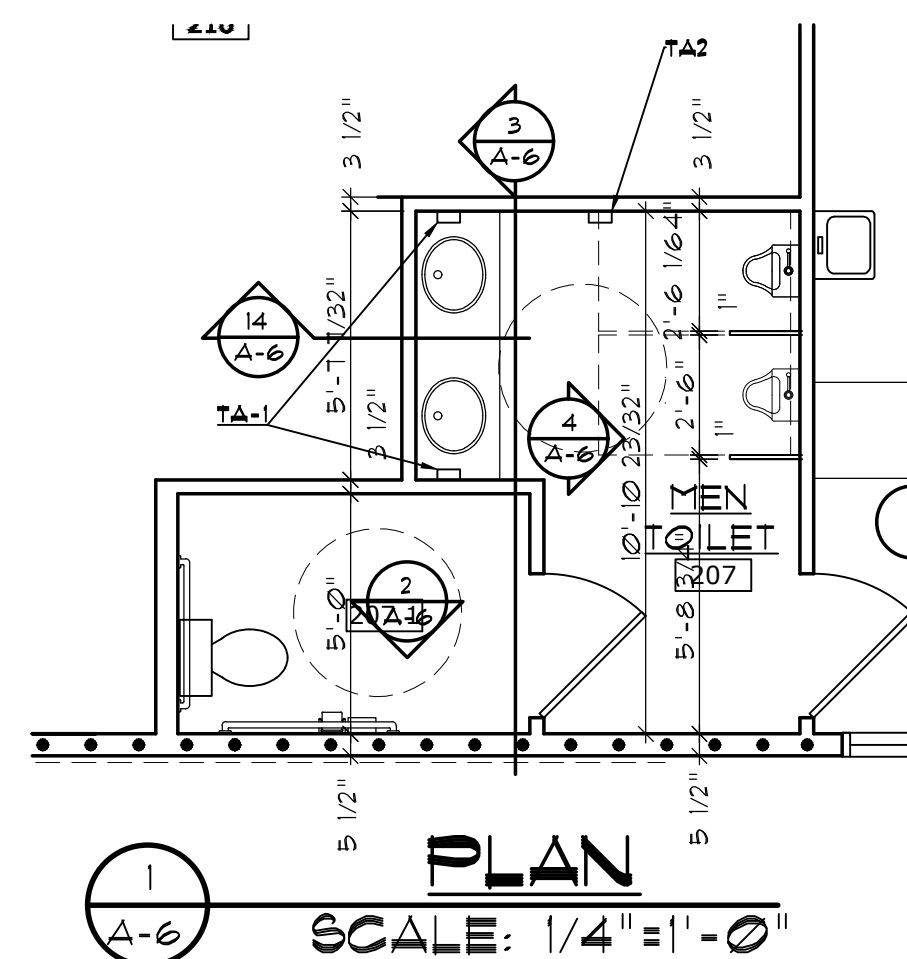
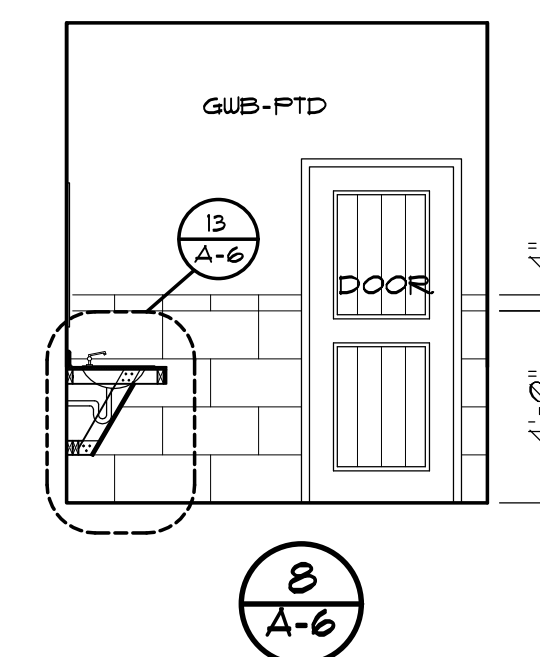
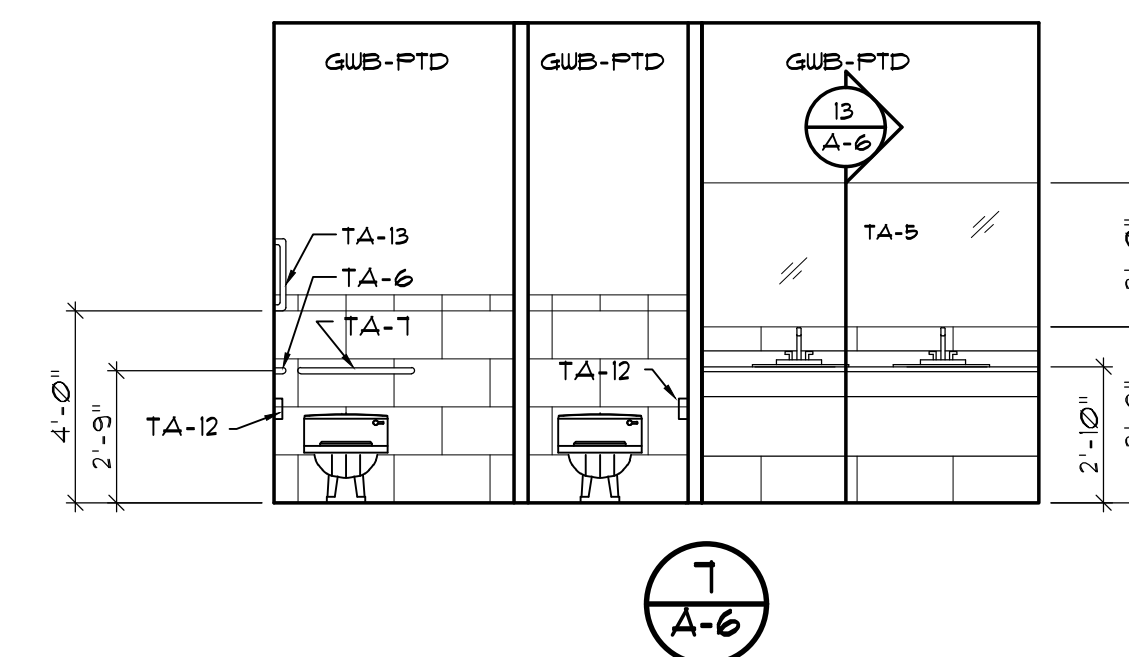
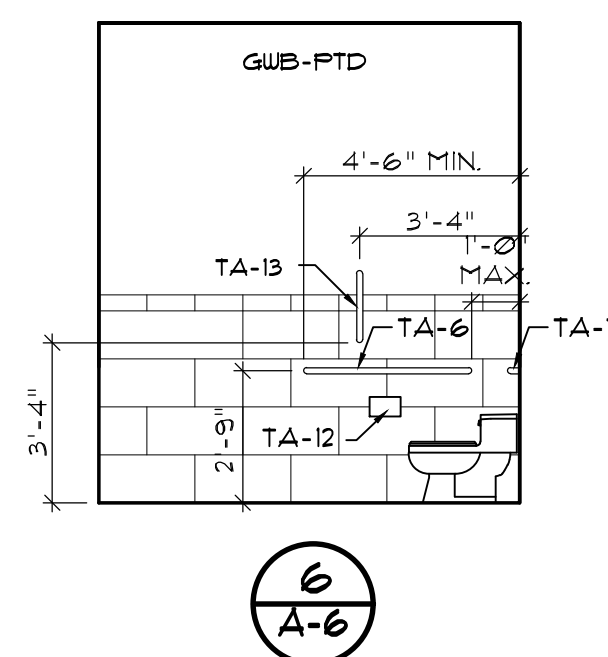
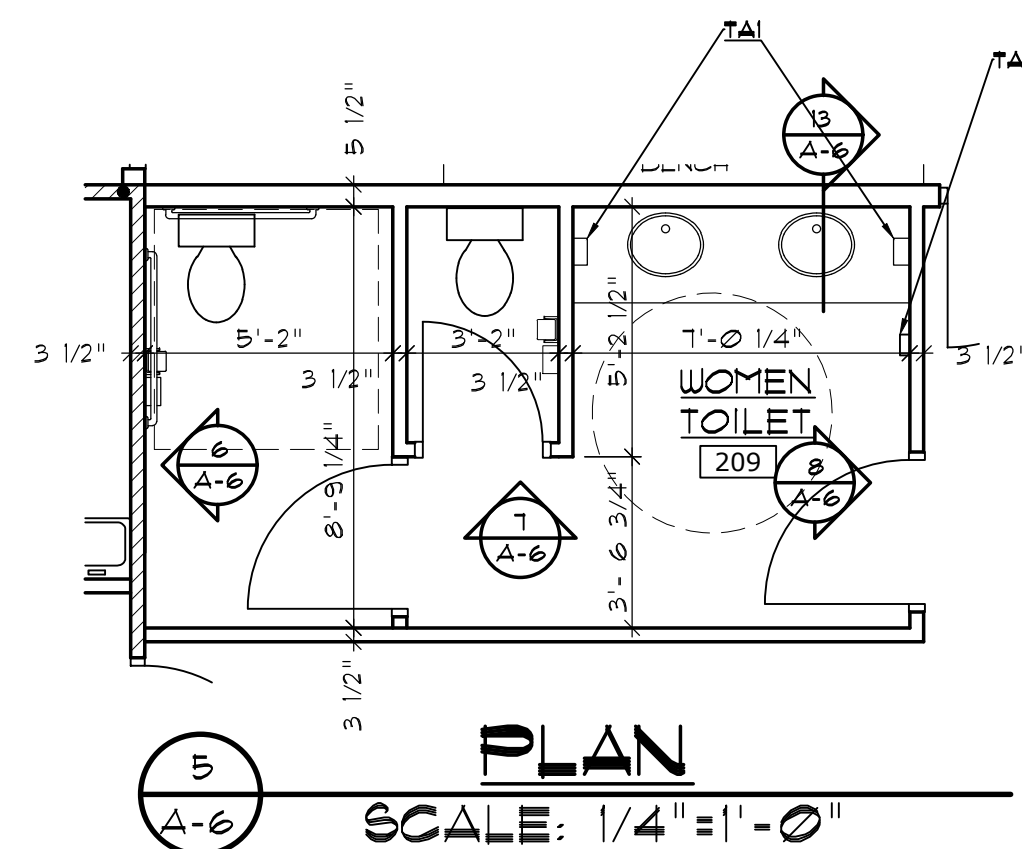
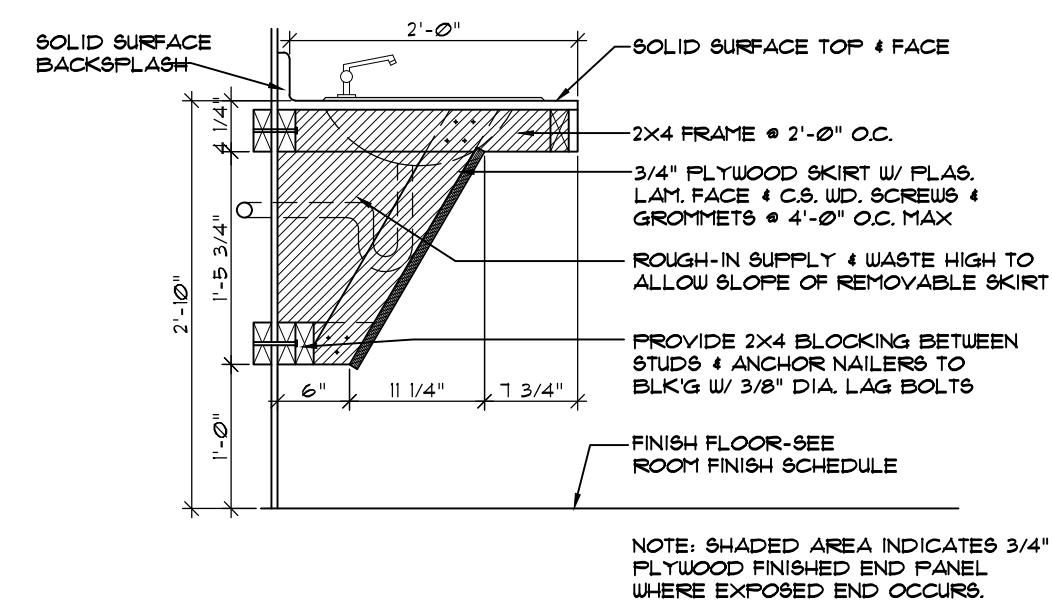
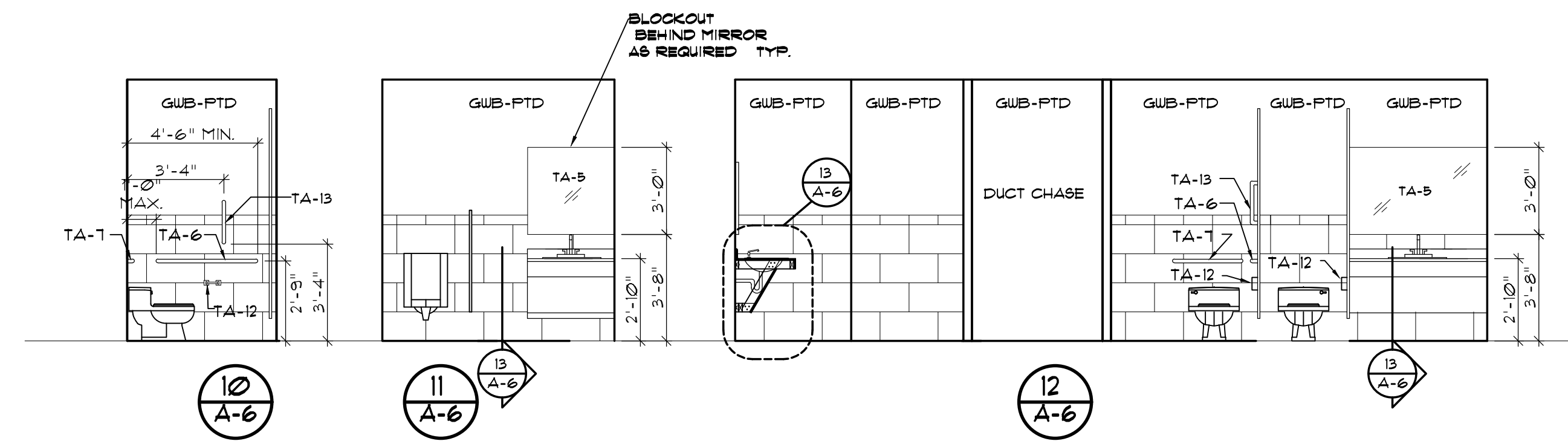
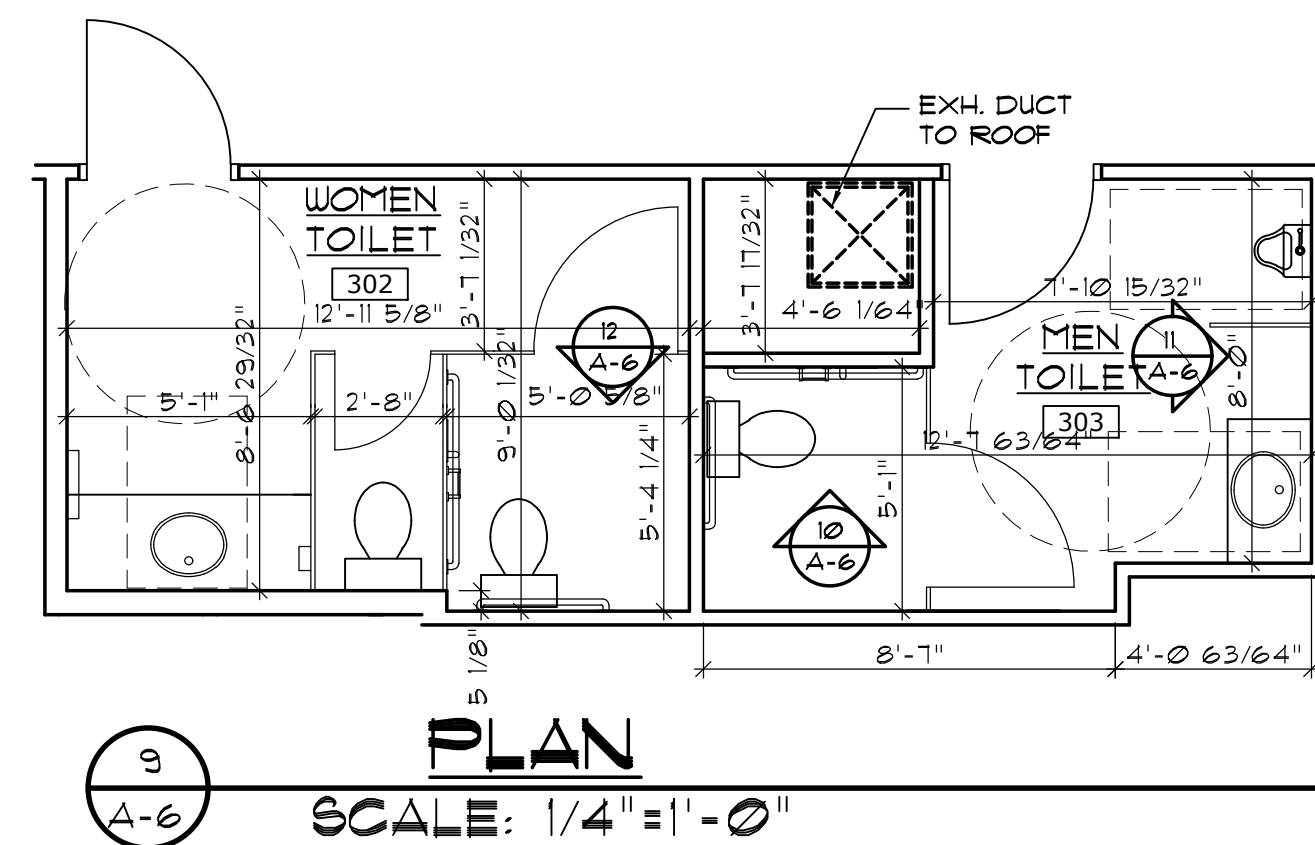
A-5.5

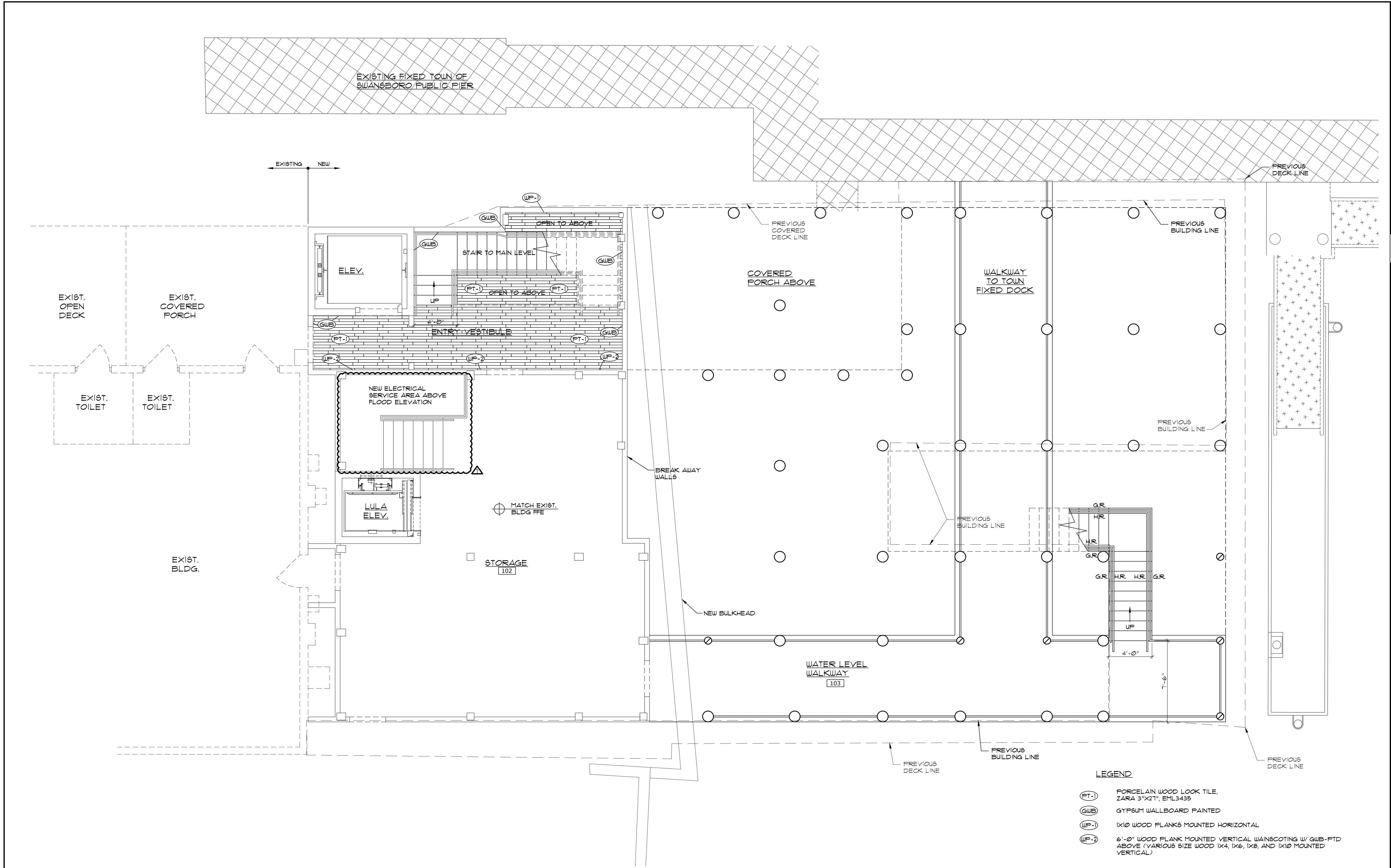


TOILET ACCESSORIES SCHEDULE					
MARK	ITEM	MFG.	MODEL #	MT.HT.	REMARKS
TA-1	SOAP DISPENSER				AS SELECTED BY OWNER
TA-2	PAPER TOWEL DISPENSER				AS SELECTED BY OWNER
TA-3	NOT USED				
TA-4	NOT USED				
TA-5	MIRROR		FRAMELESS	3'-8"	HT. TO BOTTOM
TA-6	15" DIA. SATIN S.S. GRAB BAR	BOBRICK	B-6806 x 42	2'-9"	HT. TO 4" - UNLESS NOTED OTHERWISE
TA-7	15" DIA. SATIN S.S. GRAB BAR	BOBRICK	B-6806 x 36	2'-9"	HT. TO 4"
TA-8	NOT USED				
TA-9	NOT USED				
TA-10	NOT USED				
TA-11	NOT USED				
TA-12	TOILET PAPER HOLDER		BULK		VERIFY MOUNTING HEIGHT
TA-13	15" DIA. SATIN S.S. GRAB BAR	BOBRICK	B-6806 x 18	3'-4"	HT. TO BOTTOM

NOTE:

1. ALL MOUNTING HEIGHTS ARE AS SHOWN UNLESS OTHERWISE NOTED.
2. PROVIDE BLOCKING FOR ALL TOILET ACCESSORIES.
3. PROVIDE HANDICAP DOOR SIGNAGE AT ALL TOILET RM. DOORS.
4. SUBMIT ALL ACCESSORIES FOR APPROVAL & FINAL SELECTION BY OWNER.
5. PROVIDE ADA SIGNAGE AT ALL TOILET ROOMS.
6. PROVIDE ADA COMPLIANT DRAIN WRAP AT ALL EXPOSED PIPES/DRAINS.





1 WATER LEVEL FLOORING & WALL FINISH PLAN
F-1
SCALE: 1/4" = 1'-0"



- Architectural Design
- Planning
- Interiors



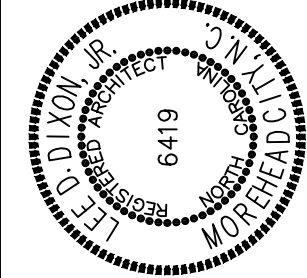
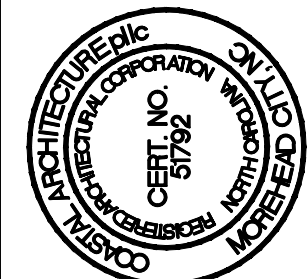
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Lee D. Dixon, Jr., AIA
252-247-2121
lee@coastalarchitecture.net

4206 Bridges St. Ext., Suite C
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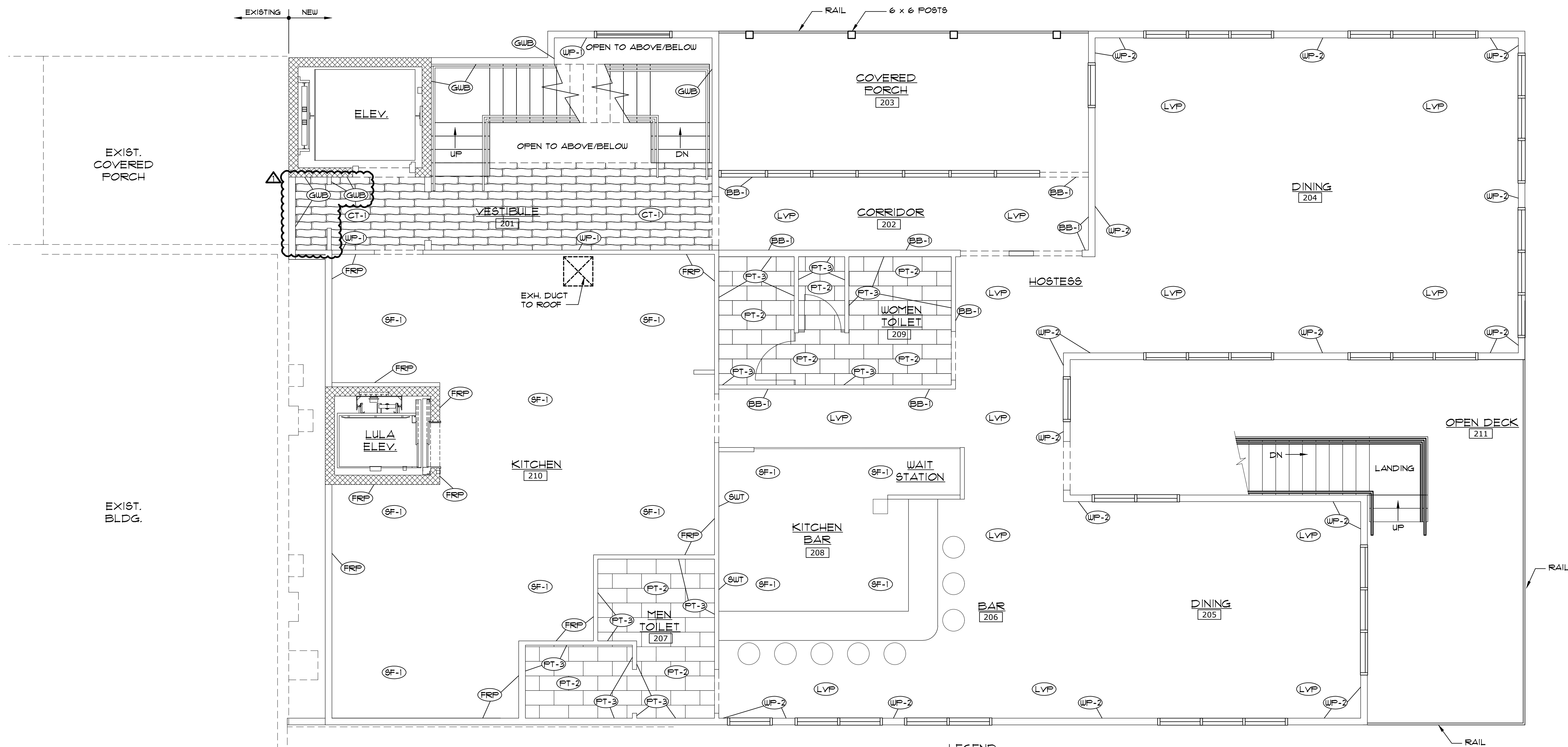
WATER LEVEL
FLOORING & WALL
FINISH PLAN

18050

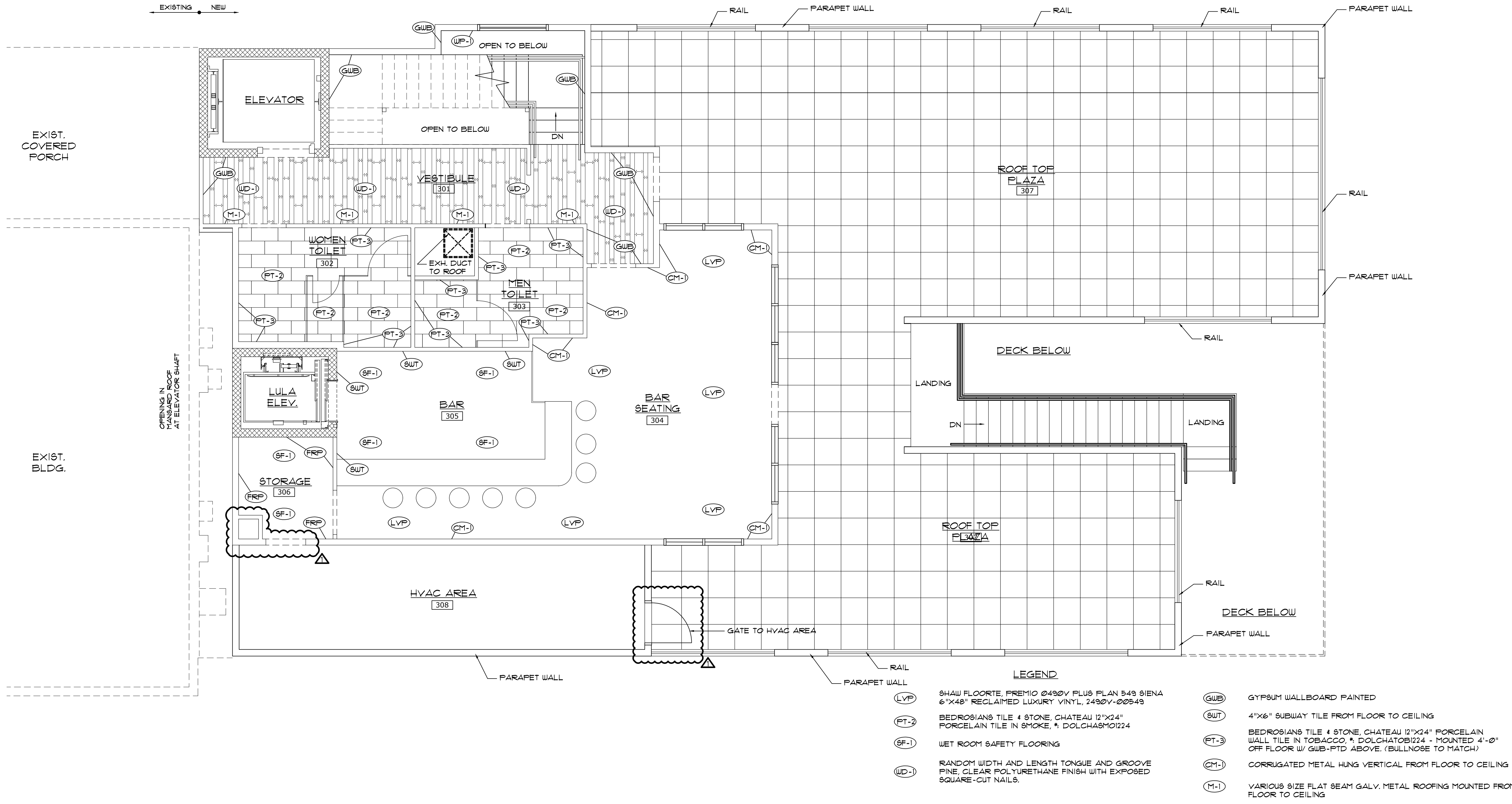
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CKD BY: LDD

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1 01/10/20

SHEET NO.
F-1
OF



1 MAIN FLOOR FLOORING & WALL FINISH PLAN
F-11 SCALE: 1/4" = 1'-0"



1 F-12 ROOF PLAZA FLOORING & WALL FINISH PLAN
SCALE: 1/4" = 1'-0"